

GENERAL NOTES:

- This building has been designed in accordance with the Ontario Building Code (OBC), all construction will comply with the most recent version of the OBC
- Mechanical contractors are responsible for design and installation to comply with local and Ontario Building Codes
- These notes are for general references, if a conflict may occur, the more demanding requirements shall take precedence
- All trades to follow rules of the Occupational Health & Safety Act
- All work is to be completed by skilled tradesmen at the highest level of quality, and to leave their work area "workroom clean" after completion
- All materials & procedures shall conform to all local codes & laws and will not be deemed harmful to the environment nor individual health
- Any contractor (sub or general) to maintain a current worker's liability insurance and be able to show proof of such, for himself and any employees

FOUNDATION, MASONRY & CONCRETE NOTES:

- All footings to be at a minimum depth of 47" below finished grade, and be free of any organic material
- Concrete for footings & walls to be a min. of 20 MPA compressive strength
- Where a foundation rests on gravel, sand or silt in which the water table is less than the width of the footings below the bearing surface, the footing is to be not less than twice the normal width
- In areas where soil movement is known to occur , measures are to be taken to minimize the effect
- Concrete for exterior use (such as garage floors, porches, etc.) to be a min. of 32 MPA compressive strength and 5-8% air entrainment
- Foundation walls to be laterally braced prior to backfill
- Where step footing are used, the vertical rise between horizontal portions shall not exceed 23-5/8" for firm soils, and 15-3/4" for sand or gravel, the horizontal distance between risers shall not be less 23-5/8"
- Garage floor cannot be over any topsoil, any fill is to be either clean and or granular a stone, compacted , concrete to be reinforced with 6x6 wire mesh, relief cut at max. 100 sq ft areas
- Unit masonry/ block foundations are to be type N-1 with type S mortar, horizontal wire reinforcing shall be at 16"o.c.
- Foundation walls to have sill plate anchor bolts @ 72"O.C., min 1/2" diameter & shall extend min 6" into grouted conc block, or poured concrete
- Dampproofing, waterproofing & parging shall comply with OBC 9.13
- Provide vapour barrier under all garage and slab on grade locations
- Masonry veneers to be tied to foundation & framing members with corrosion resistant straps @ 15.75" vertically & 31-1/2" horizontally and conform to OBC 9.20, 20 mil. poly flashing is required behind and extend past all masonry at foundation and all openings, weeping holes to be supplied @ 31"o.c.
- Steel lintels (L angles) for exterior stone or brick shall be min. 3-1/2" x 3-1/2" (1/4" thick) for spans up to 92", 5" x 3-1/2" (5/16") for spans up to 120", 6" x 3-1/2" (3/8") for spans up to 140" (OBC 9.20.12)

FRAMING NOTES:

- Floors to be designed to a minimum of 40psf Live load & 15psf dead load
- All framing lumber to used shall be min. no.2 spruce unless specified otherwise
- End bearing of joists and rafters is to be not less than 1-1/2"
- Framing assembly fasteners shall conform to OBC table 9.23.3.4
- Header joists at all floor openings exceeding 32" are to be doubled
- Framing contractor to place all joists and studs to accomodate mechanical
- Subfloor to be glued to joists
- Non load bearing walls parallel to the floor joists shall be supported by joist directly under or blocking between the joists @42"o.c.
- Any metal anchors are to be approved Simpson or equal
- All studs to be continuous from floor to underside of roof framing for all sloped ceiling areas
- All manufactured beams, floor joist or trusses to be engineered & designed by supplier
- Lintels & headers shall be (2)2x8 up to 71" span, (2)2x10 up to 87" span & (2)2x12 for a max. 103" span, unless noted otherwise
- Wall studs to be doubled, or to match the number of plys & positioned directly under any beams & girder trusses
- Every attic greater than 108 sq.ft. must be accessible by a hatchway of not less than 19-3/4" x 27-3/4"

ROOFING:

- Asphalt shingles to be a minimum of 225 lbs/sq & to conform to CAN3-A123.51
- Flashing to exceed no less than 8"
- ice & water shield or equivalent to be installed under all shingles
- Roof or attic space is to be provided with an unobstructed vent area of not less than 1/300 of the insulated ceiling area, distributed evenly

MECHANICAL:

- Mechanical systems to be designed by contractor & comply with OBC parts 6 & 9
- Plumbing system to be deigned by contractor & comply with OBC parts 6 & 9
- Where a drain water heat recovery unit is installed, it must conform to CSA B55.2 and have a minimum efficiency of 42%, be connected to all showers, installed vertically, & in a conditioned space
- Interior plumbing waste & vent lines to be ABS
- Provide a check valve with the summersible sump pump
- A minimum headroom of 6'5" shall be maintained under all beams and mechanical ducts and pipes
- Mechanical contractors are to ensure the maximum headroom possible is achieved under all pipes and ducting
- HRV is to have min efficiency rating of 75% heating equipment of 96%, hot water tank min EF 0.83 or meet compliancy package
- Exhaust fans from kitchen and bathrooms to be ducted directly to the exterior and to be insulated when passing through an uninsulated area
- A mechanical ventilation system is to be installed, capable of providing at least one half an air change per hour during the heating season
- Electrical system to comply with Ontario Electrical Safety Code & be designed by others
- Arch fault cicuit interrupters to be installed for all bedrooms
- Smoke & CO2 alarms to be installed with battery back up & permanent connections,and wired so that activation of one alarm will cause all alarms to sound to comply with OBC 9.10.19, to be placed on each floor, in common spaces and within 10 feet of each bedroom door and equipped with strobe light

STAIRS & RAILINGS:

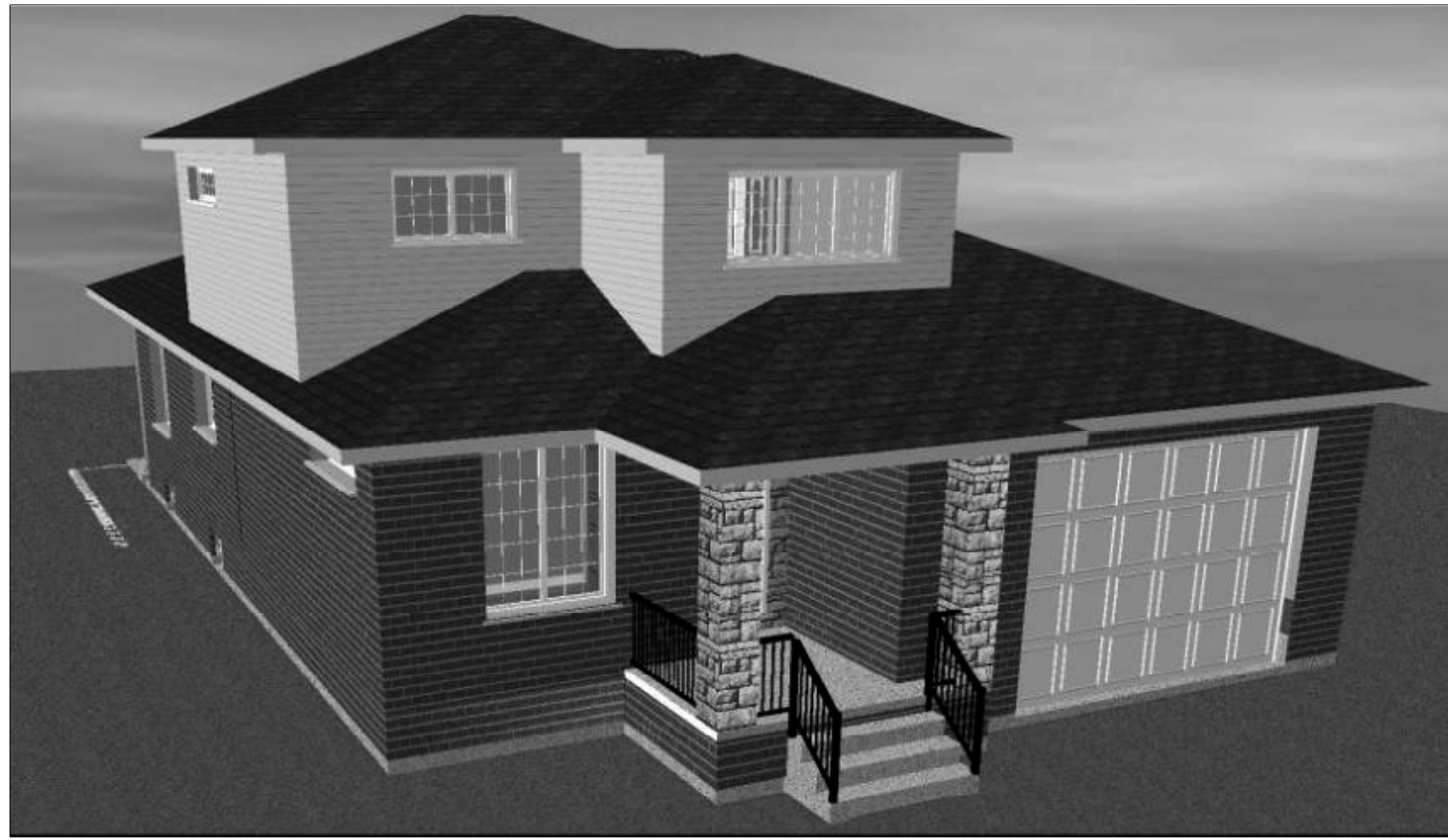
- All guard railings are to be a minimum of 36" high when the landing is no more than 71"above finished ground or floor level, and 42" high for landing more than 71" a.f.f., openings between spindles shall not be larger than 4" to conform with obc 9.8.8
- Handrails are required to meet obc 9.8.7. to be no less than 34" and no more than 38" measured vertically from a line drawn through the outside edges of the stair nosing
- All stairs will have a maxim riser height of 7-7/8" & minimum tread depth of 10" (11-1/4" should be used if at all possible), min.headroom clearance of at least 6'-5"

WINDOWS, INSULATION & ENERGY EFFICIENCY:

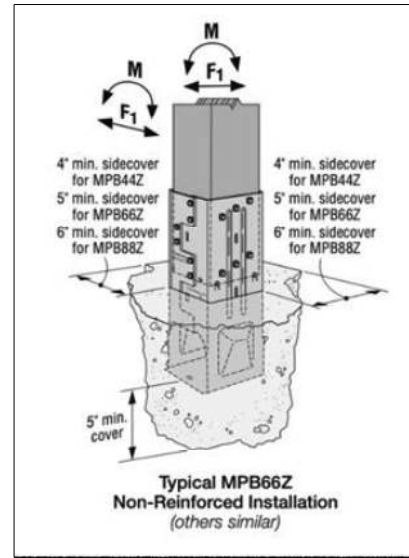
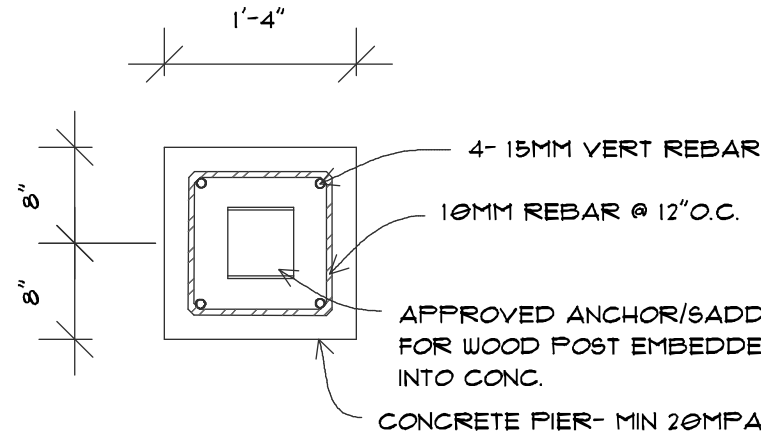
- Install R60 insulation in all flat ceiling areas (including garage),R31 for sloped ceiling areas, R22 for walls above grade, & R20 for those below grade
- This building has been deisgned to conform to Compliance package A1 (Zone 1- gas fuel source), any changes to a different package must be confirmed with owner & contractor
- Window supplier is to provide any ness. jamb extensions to finish to the inside face of the drywall
- Window manufacturer to supply interior casing for any half round or elliptical windows, profile and wood type to be approved by homeowner
- Windows to have max. U-value of 1.8 skylights 2.8
- Entrance doors to the dwelling shall be a min. of 1-3/4" thick, have a deadbolt with at least 1" throw, have hinges fastened with at least 2 screws per hinge penetrating 1-3/16" into solid wood, have solid blocking in the framing to resist spreading
- Doors between dwelling & garage must be closely fitted & weather-stripped to reduce the likelihood of passing fumes & gases , and must be equipped with a self closing device
- Each floor shall be suited with a minimum of one window that meets egress requirements,having a minimum of 3.8 sq ft unonstructed opening
- Sizes provided for all windows & doors are for design purposes only, supplier to provide proper opening sizes for framing
- Where an operable window is more than 72" above grade & less than 24"above the interior floor, the opening shall be restricted to 4"

GENERAL CONTRACTING & QUOTING:

- All drawings and specifications to be returned with quotation
- It is the responsibility of the contractor to comply with the Ontario Building Code, The Ontario Hydro Code and all applicable Municipal bylaws
- It will be the responsibility of the general contractor to review all aspects of the project according to the drawings, and to report in writing, of any omissions or mistakes before continuing
- All allowances to include installation labour and materials
- All materials and finishes to be approved by the homeowner
- Garage overhead doors to be insulated and wired for future door opener
- Drywall finishers to float corners to counter the effects of truss uplift
- Garage to be fully insulated and drywalled with minimum of 2 coats of finish compound
- Include within the quote, an allowance for towel bars, paper holders & mirrors with an installation charge
- All changes to the plans or specifications, whether initiated by the homeowner or contractor, must be done in writing
- All metal posts, beams and angle irons to be shop primed



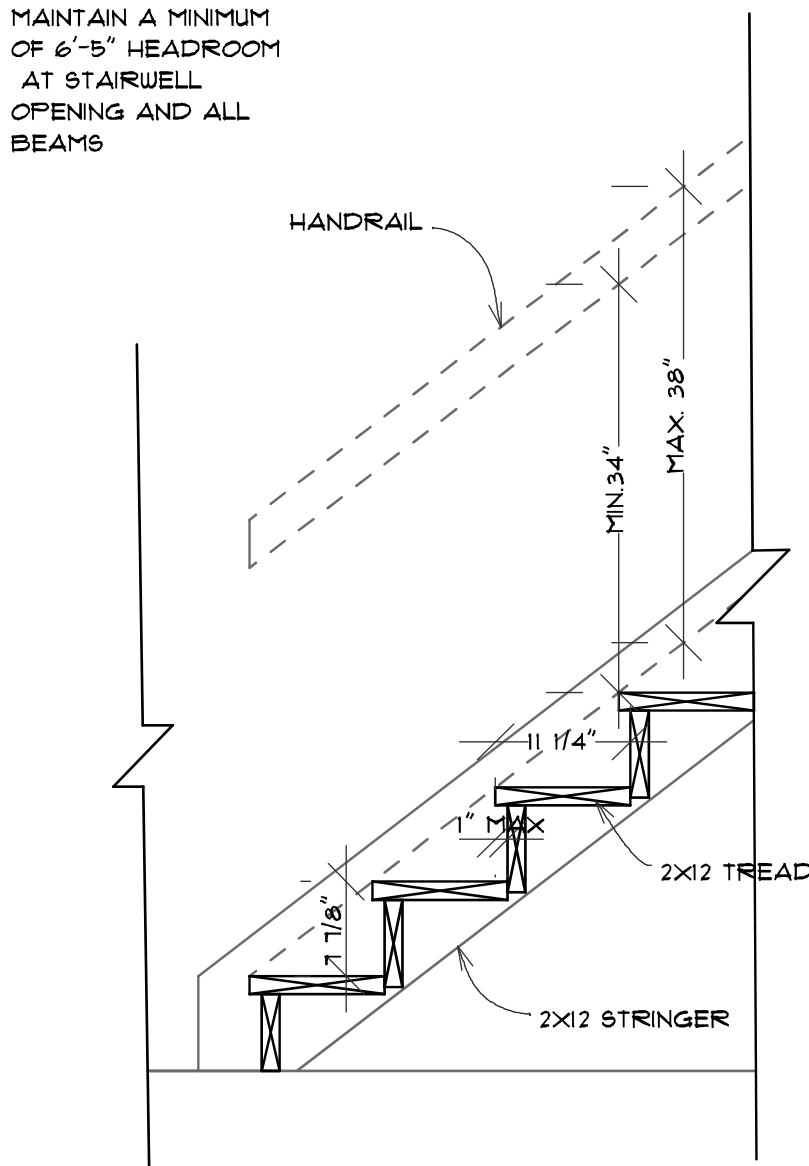
B. Prescriptive Compliance (indicate the building code compliance package being employed in this house design)					
SB-12 Prescriptive (input design package):			Package: A1		
			Table: 3.1.1.2A		
C. Project Design Conditions					
Climatic Zone (SB-1):		Heating Equipment Efficiency		Space Heating Fuel Source	
<input checked="" type="checkbox"/> Zone 1 (< 5000 degree days)		<input checked="" type="checkbox"/> ≥ 92% AFUE		<input checked="" type="checkbox"/> Gas	
<input type="checkbox"/> Zone 2 (> 5000 degree days)		<input type="checkbox"/> ≥ 84% < 92% AFUE		<input type="checkbox"/> Oil	
				<input type="checkbox"/> Propane	
				<input type="checkbox"/> Electric	
				<input type="checkbox"/> Solid Fuel	
				<input type="checkbox"/> Earth Energy	
Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area			Other Building Characteristics		
Area of walls= _____ m ² or 3408 ft ²			W, S & G % = ____ 11.13		
			Utilize window averaging:		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
Area of W, S & G= _____ m ² or 3,179 ft ²			Ground Sourced Heat Pump (GSHP)		
Building Component		Minimum RSI / R values or Maximum U-Value		Building Component	
Thermal Insulation		Nominal		Efficiency Ratings	
		Effective		Windows & Doors Provide U-Value ⁽¹⁾ or ER rating	
Ceiling with Attic Space		R60	R59.22	Windows/Sliding Glass Doors	
Ceiling without Attic Space		R31	R27.65	Skylights/Glazed Roofs	
Exposed Floor		R31	R29.8	Mechanicals	
Walls Above Grade		R22	R17.03	Heating Equip. (AFUE)	
Basement Walls		R20	R21.12	HRV Efficiency (SRE% at 0°C)	
Slab (all >600mm below grade)		-	-	DHW Heater (EF)	
Slab (edge only <600mm below grade)		R10	R10	DWHR (CSA B55.1 (min. 42% efficiency))	
Slab (<600mm below grade, or heated)		R10	R11.13	Combined Heating System	



SADDLE EXAMPLE

CONC. COLUMN DETAIL

SCALE: 3/4"=1'-0"

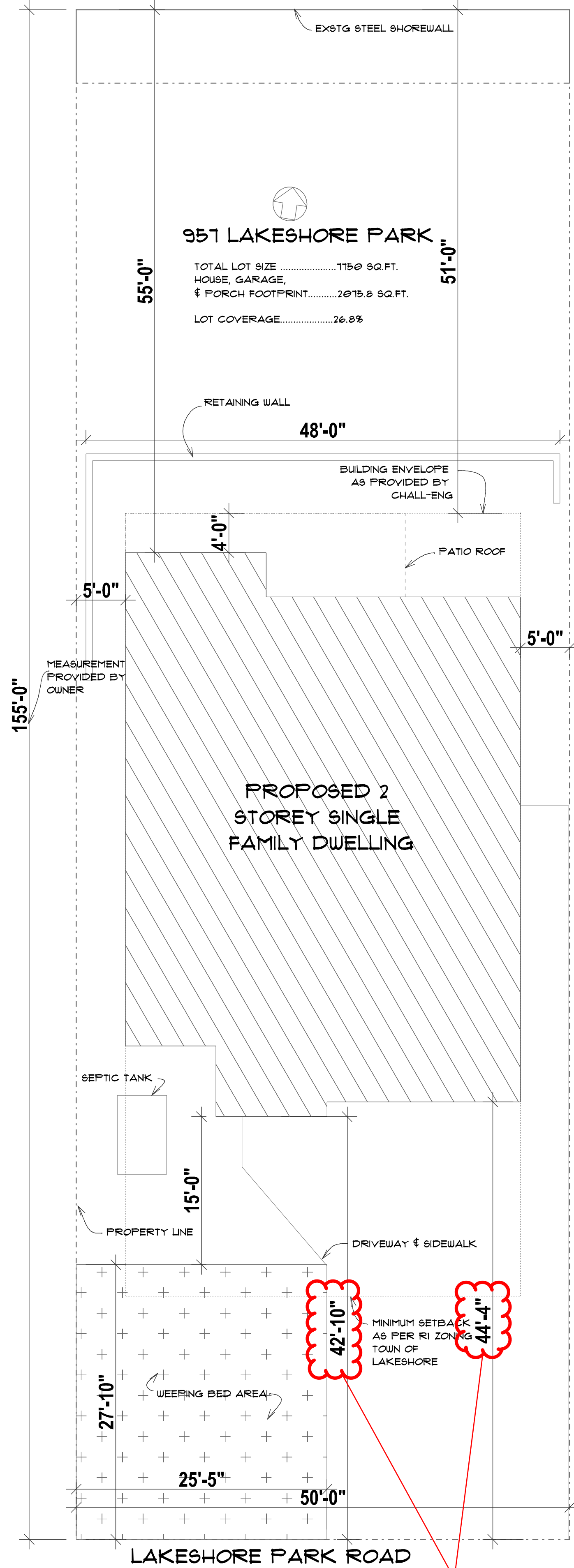


HANDRAILS ARE REQUIRED TO MEET OBC 9.8.7. TO BE NO LESS THAN 34" AND NO MORE THAN 38" MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF THE STAIR NOSING

STAIRS ARE TO BE CONSTRUCTED SO THAT ALL TREADS & RISERS HAVE A UNIFORM RISE & RUN. MINIMUM WIDTH OF 35". RISERS TO BE MIN 4-1/8" TO MAX. 7-1/8". TREADS TO BE MIN. 9-1/4" TO MAX. 14" W/ NOSING NO DEEPER THAN 1" AND MUST CONFORM W/ O.B.C. 9.8.2

STAIR DETAIL

SCALE: 3/4"=1'-0"



SITE PLAN

SCALE: 1/8"=1'-0"

General Notes

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 - 3.THE ONTARIO BUILDING CODE (OBC) SHALL RULE AND BE THE AUTHORITY FOR THIS PROJECT
 - 4.DRAWINGS ARE TO BE USED AS A GUIDELINE, AND SHOULD BE VERIFIED BY A LICENSED ENGINEER
 - 5.THE DESIGNER IS NOT RESPONSIBLE FOR THE METHODS AND/OR TECHNIQUES OF ANY CONTRACTOR DURING CONSTRUCTION OF THIS PROJECT
 - 6.THERE IS NO WARRANTY, NEITHER WRITTEN NOR IMPLIED AS TO THE ACCURACY OF THESE DRAWINGS
 - 7.CONTRACTORS SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING OF ANY VARIATIONS BETWEEN THESE DOCUMENTS AND ANY APPLICABLE CODES OR NECESSARY CHANGES

No.	Revision/Issue	Date

Stamp:



Project Name and Address:

New Home
957 LAKESHORE PARK

Client:

J&M WILLS

Drawing:

SITE PLAN
GENERAL NOTES

Scale:

as shown

Date:

Jan.26,2023

Drawn By:

S.O.

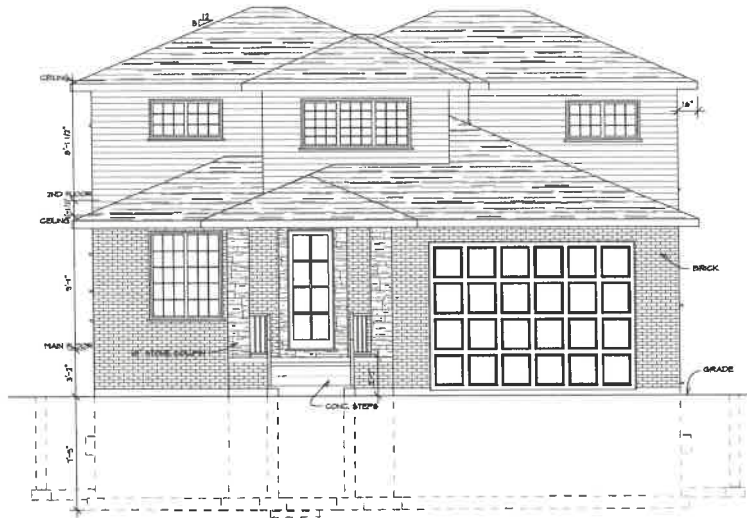
Sheet:

Checked By:

Approved By:

J.W.

A1



SOUTH ELEVATION

GRADE TO SLOPE AWAY FROM, AND BE NO LESS THAN 5'-10\"/>

ALL GUARD RAILINGS ARE TO BE A MINIMUM OF 36\"/>

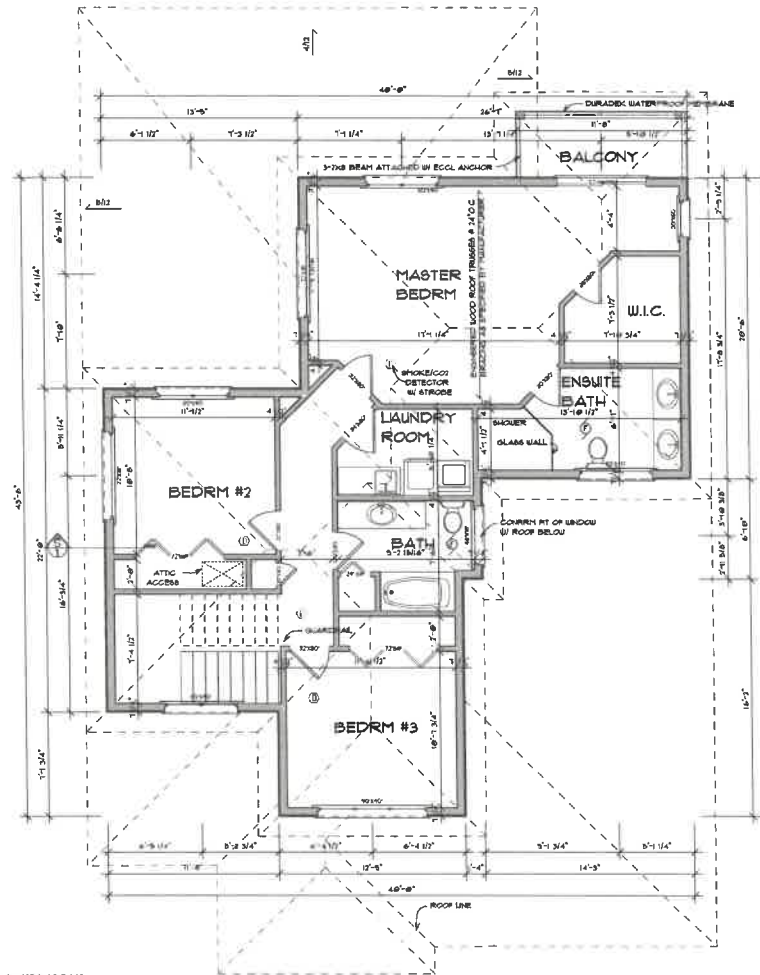
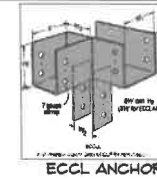


NORTH ELEVATION

ALL ROOF TRUSSES ARE TO BE DESIGNED BY A LICENSED ENGINEER SUPPLIED BY THE MANUFACTURER AND PROOF THEREOF TO BE PRODUCED TO THE BUILDING DEPARTMENT. MANUFACTURER WILL SUPPLY ALL NECESSARY DRAWINGS SPECIFICATIONS, BRACING LOCATIONS & FASTENING REQUIREMENTS.

ALL ROOF OR ATTIC SPACES ABOVE INSULATED CEILING MUST BE VENTED WITH AN UNOBSTRUCTED FREE AREA OF 1/8\"/>

ALL MANUFACTURED BEAMS/RAILS ARE TO BE DESIGNED BY A LICENSED ENGINEER SUPPLIED BY THE MANUFACTURER AND PROOF THEREOF TO BE PRODUCED TO THE BUILDING DEPARTMENT.



EVERY ATTIC OR ROOF SPACE GREATER THAN 101 SQ. FT. TO HAVE ACCESS NO LESS THAN 2'-0\"/>

SECOND FLOOR PLAN
1006 SQ. FT.

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No.	Revision/Issue	Date



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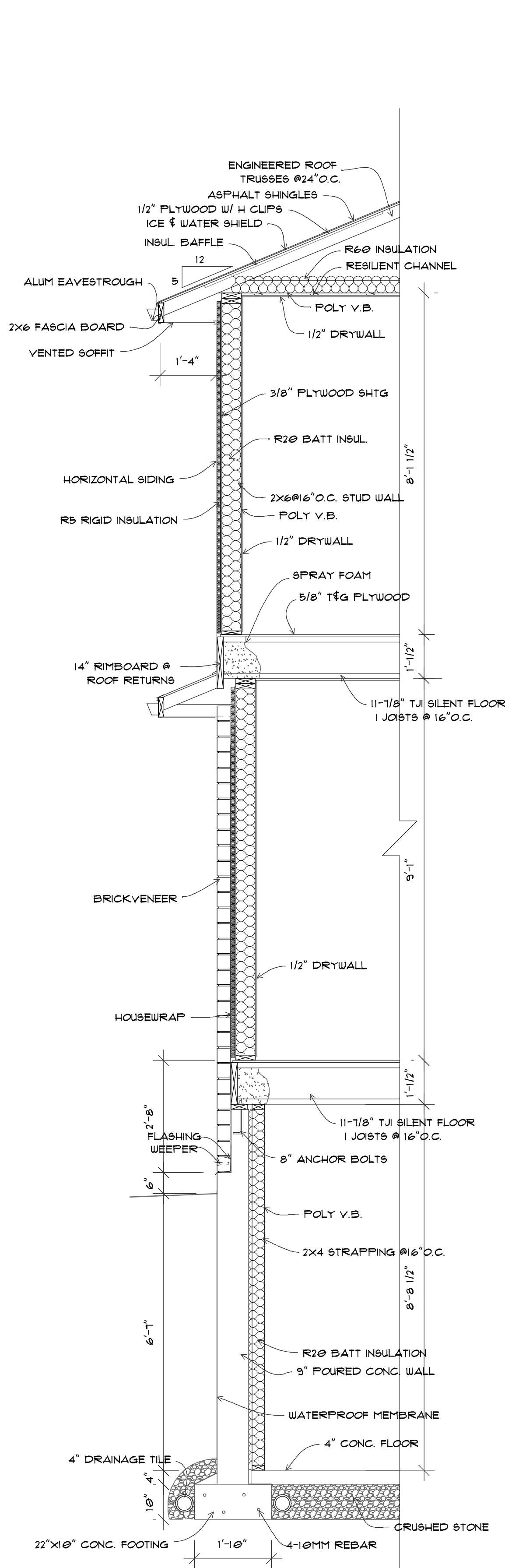
Project Name and Address:
New Home
951 LAKESHORE PARK

Client:
J&M WILLS

Drawing: **2ND FLOOR PLAN ELEVATIONS**
Scale: 1/4" = 1' - 0"
Date: Jan. 26, 2023

Drawn By: S.O.	Shed:
Checked By:	
Approved By: J.W.	

A3



SECTION 1
SCALE: 1/2"=1'-0"

ALL ROOF TRUSSES ARE TO BE DESIGNED BY A LICENCED ENGINEER SUPPLIED BY THE MANUFACTURER AND PROOF THEREOF TO BE PRODUCED TO THE BUILDING DEPARTMENT MANUFACTURER WILL SUPPLY ALL NECESSARY DRAWINGS SPECIFYING BRACING LOCATIONS & FASTENING REQUIREMENTS

ALL ROOF OR ATTIC SPACES ABOVE INSULATED CEILING MUST BE VENTED WITH AN UNOBSTRUCTED FREE AREA OF 1/3000 OF THE TOTAL AREA OR CONFORM TO OBC 9.19.1

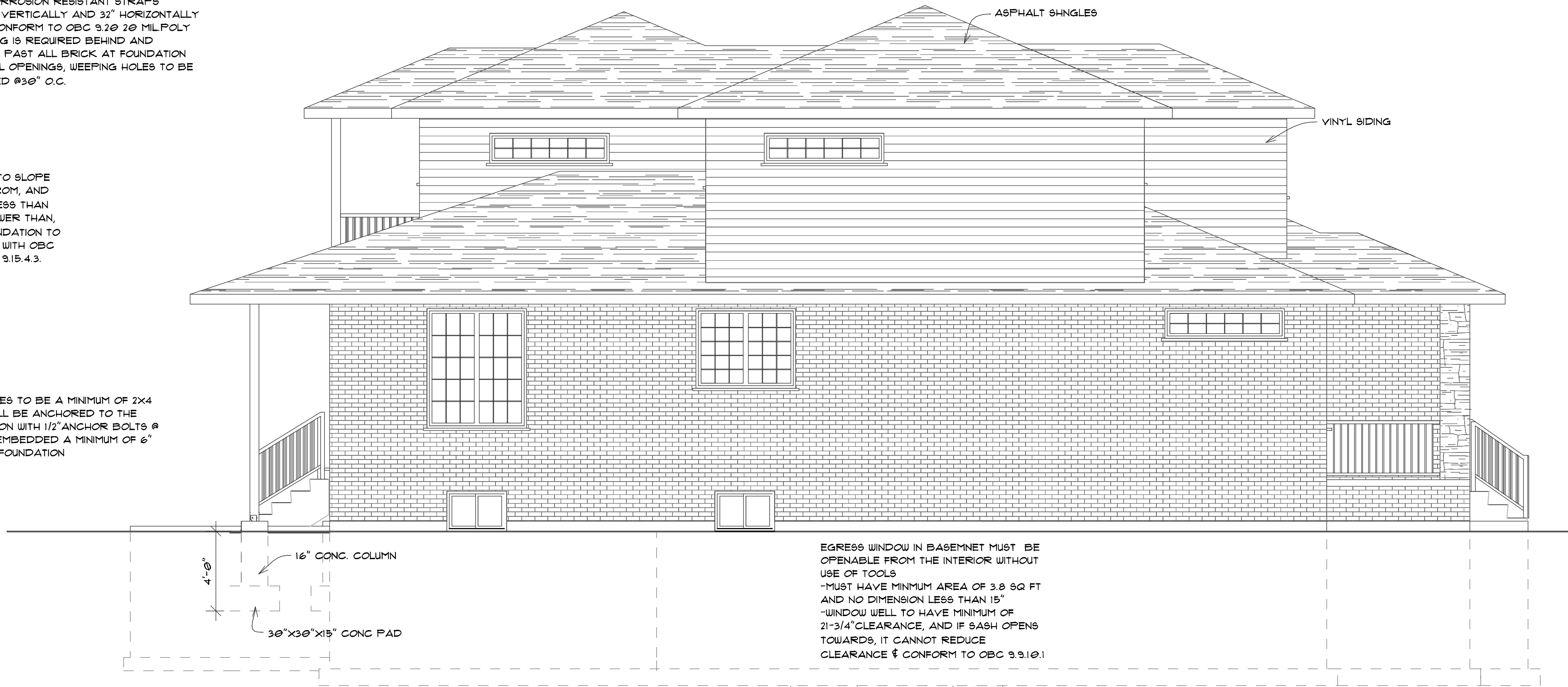
BRICK TO BE TIED TO FRAMING MEMBERS WITH CORROSION RESISTANT STRAPS @16" O.C. VERTICALLY AND 32" HORIZONTALLY AND CONFORM TO OBC 9.20.20 MIL POLY FLASHING IS REQUIRED BEHIND AND EXTEND PAST ALL BRICK AT FOUNDATION AND ALL OPENINGS, WEeping HOLES TO BE SUPPLIED @30" O.C.

GRADE TO SLOPE AWAY FROM, AND BE NO LESS THAN 5'-1/8" LOWER THAN, THE FOUNDATION TO COMPLY WITH OBC 9.14.6.1 & 9.15.4.3.

SILL PLATES TO BE A MINIMUM OF 2X4 AND SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS @ 84" O.C. EMBEDDED A MINIMUM OF 6" INTO THE FOUNDATION



EAST ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

EGRESS WINDOW IN BASEMENT MUST BE OPENABLE FROM THE INTERIOR WITHOUT USE OF TOOLS
-MUST HAVE MINIMUM AREA OF 3.8 SQ FT AND NO DIMENSION LESS THAN 15"
-WINDOW WELL TO HAVE MINIMUM OF 21-3/4" CLEARANCE, AND IF SASH OPENS TOWARDS, IT CANNOT REDUCE CLEARANCE & CONFORM TO OBC 9.9.10.1

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No.	Revision/Issue	Date

Stamp:



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5320 Walker Road, Oldcastle, Ont, N0R1L0
519-737-1212 laubri.com

Project Name and Address:
New Home
957 LAKESHORE PARK

Client:
J&M WILLS

Drawing: **ELEVATIONS
CROSS SECTION**
Scale: as shown Date: Jan.26,2023

Drawn By: S.O.	Sheet: A4
Checked By:	
Approved By: J.W.	