

**Scoped Heritage Impact Assessment
and
Commemoration Strategy
7119 Tecumseh Road
Municipality of Lakeshore
Lot 7, Concession 1
Geographic Township of Tilbury West
Essex County**

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EXECUTIVE SUMMARY

Under a contract awarded in July 2022 by Mr. and Mrs. Lachine, Archaeological Research Associates Ltd. carried out a Heritage Impact Assessment and Commemoration Strategy in advance of the proposed removal of the structure at 7119 Tecumseh Road, in the Municipality of Lakeshore, Essex County. The property is known as the Church of Annunciation and is designated under Section 29 (Part IV) of the *Ontario Heritage Act* by By-law 84-2007 and By-law 32-2017.

The property is situated on Lot 7, Concession 1, Geographic Township of Tilbury West, Essex County. The proposed site alterations include the full removal of the building. A Heritage Impact Assessment has been requested to present conclusions and recommendations regarding the Cultural Heritage Value or Interest and potential project impacts on the property as a result of the proposed site alteration.

The Scoped Heritage Impact Assessment consisted of the following:

- Introduction to the cultural heritage resources;
- Assessment of existing conditions;
- Description of proposed site alteration;
- Evaluation of potential project impacts resulting from proposed site alteration;
- Consideration of mitigation strategies and conservation methods; and
- Summary and Recommendations.

The O. Reg 9/06 evaluation and its current status as a Part IV designation property under the *OHA* confirms that 7119 Tecumseh Road possesses cultural heritage value or interest.

Negative impacts to the subject property which will result from the proposed site alteration include:

- Impact 1 – The proposed site alteration includes the full removal of the structure at 7119 Tecumseh Road and all its associated physical, historical and contextual heritage attributes.
- Impact 2 – The proposed site alteration involves the removal of the red brick former Our Lady of Annunciation Church which is described in the designation By-law as the dominant historical building in Stoney Point.
- Impact 3 – The proposed site alteration will remove the property's historical link the adjacent former clerical residence.

A variety of alternative design options were considered including retention of the building *in situ*. Based on the buildings current structural condition and health and safety concerns, the property owners' preferred option is the complete removal of the building with symbolic conservation. Mitigation measures have been included to reduce, but not eliminate, the negative impact which will result from the removal of the subject building.

If the demolition of the building is approved, the following conservation/mitigation measures are recommended:

- A Cultural Heritage Resource Documentation (CHRD) report should be prepared. Photographic and written documentation of 7119 Tecumseh Road has been completed

as part of this report. It should be confirmed that the existing documentation has been completed to the satisfaction of Municipal staff.

- The heritage committee should provide comment on which heritage attributes should be explored as part of the commemoration plan and which are top priorities for salvage in general. The full list of heritage attributes is outlined in Table 3 and suggested priority level summarized in Section 11.2. The heritage committee should establish clear priority levels about which attributes are felt to be the most significant in the event that structural or health and safety concerns become critical. The priority list should consider the feasibility of removal and the potential for a viable reuse. For example, the bell, any intact stain glass windows, light fixtures etc., have an increased likelihood of being removed without exacerbating safety concerns. Similarly, the interior pressed tin may present challenges to find a suitable place for reuse.
- The heritage committee should determine if a commemorative plaque should be employed as a means of symbolic conservation immediately. If so, salvage materials to be used should be clearly communicated prior to and demolition efforts. ARA would recommend that at minimum a selection of brick and stone masonry units and exterior pressed tin such as the pinnacles and spirelet be salvaged and integrated into the design of the commemorative plaque.
- The heritage committee should provide comment on which items (if any) might be able to be integrated into the local landscape as a form of symbolic conservation. This may include art installations in the surrounding public parks etc.
- The heritage committee should provide comment on which items (if any) should be stored long-term for potential reuse/integration into new development on the property, recognizing the risk that the materials may deteriorate or ultimately not be feasibly used at the time that a development plan is put forth.
- Based on feedback from the heritage committee, communication with salvage companies regarding the interest of receiving materials should be explored.
 - a. The Architectural Conservancy of Ontario (ACO) North Waterloo Region maintains a Directory of Heritage Practitioners located in Ontario that claim to have experience with heritage and/or older properties. The section dedicated to “Moving, Dismantling and Salvage” could be referred to for salvage contacts, however, it is recommended that references and/or previous work be assessed before engaging with any of the listed businesses. The ACO directory is available online at: [Moving, Dismantling & Salvage - ACO North Waterloo Region \(aconwr.ca\)](http://Moving, Dismantling & Salvage - ACO North Waterloo Region (aconwr.ca)).
 - b. Should no salvage companies be interested in the proposed material for salvage, investigation into general reuse stores (i.e., Habitat for Humanity) should be explored to determine if they are willing to receive the materials. Based on the comments from the heritage committee and the discussion with salvage companies, the items which are proposed for salvage, should be reviewed by a qualified professional to determine if their extraction is feasible.
- Based the decisions made in items 1–6 above, the Conservation Plan should be developed. It should include at a minimum:
 - a. A description of the preferred commemoration approach(es);
 - b. Specific details about which materials should be salvaged, the quantity of materials, storage methods, material reuse consideration, and specific commemoration details include size, style, location, wording, of any proposed plaques.
- The Conservation Plan should be approved prior to the removal of the building.

- If the removal of the building is approved, the building no longer warrants designation under Part IV of the OHA and the By-law should be removed.

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ABBREVIATIONS

ARA – Archaeological Research Associates Ltd.
BHR – Built Heritage Resource
CHRD – Cultural Heritage Resource Documentation
HIA – Heritage Impact Assessment
CHVI – Cultural Heritage Value or Interest
HSMBC – Historic Sites and Monuments Board of Canada
MTCS – Ministry of Tourism, Culture and Sport
OHA – Ontario Heritage Act
OHT – Ontario Heritage Trust
O. Reg. – Ontario Regulation
OP – Official Plan
PPS – Provincial Policy Statement
SOS – Statement of Significance
TOR – Terms of Reference

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Two-page Curricula Vitae (CV) for key team members that demonstrate the qualifications and expertise necessary to perform cultural heritage work in Ontario are provide in Appendix C.

SCOPED HIA REPORT REQUIREMENTS CHART

Based on HIA Requirements as Outlined in the *Ontario Heritage Toolkit Infosheet #5*, and in Consultation with Municipality of Lakeshore Planning Staff

HIA Requirements	Relevant ARA Section
<p>Historic Research, Site Analysis, and Evaluation</p> <p>SCOPED – as the property has undergone research, analysis, and evaluation as part of the designation process, historic research, site analysis and evaluation has been waived. This report will reference the property’s existing designation By-law.</p>	<p>1.0 Project Context 2.0 Legislative and Policy Review 3.0 Key Concepts 4.0 Consultation</p>
<p>Identification of the Significance and Heritage Attributes of the Cultural Heritage Resources</p>	<p>5.0 Field Survey 6.0 Property Description 7.0 Heritage Assessment</p>
<p>Description of the Proposed Development or Site Alteration</p>	<p>0 Proposed Site Alteration</p>
<p>Measurement of Development of Site Alteration Impact</p>	<p>9.0 Analysis of Potential Impacts</p>
<p>Consideration of Alternatives, Mitigation Measures and Conservation Methods</p> <p>SCOPED - The report will include mitigation measures related to symbolic conservation. If deemed necessary, Conservation Methods to reduce or eliminate impacts will be presented.</p>	<p>10.0 Alternative Development Options and Mitigation Measures 11.0 Conservation Strategy</p>
<p>Implementation and Monitoring</p>	<p>An Implementation approach will be presented to help inform the next steps and when/where issues need to be addressed.</p>
<p>Summary Statement and Conservation Methods.</p>	<p>0 Summary Statement and Conservation Recommendations</p>
<p>Bibliography and Qualifications</p>	<p>13.0 Bibliography and Sources Appendix C: Key Team Member Two-Page Curriculum Vitae</p>

1.0 PROJECT CONTEXT

Under contract awarded in July 2022 by Mr. & Mrs. Lachine, Archaeological Research Associates Ltd. (ARA) carried out a scoped Heritage Impact Assessment (HIA) and Commemoration Strategy (Documentation and Salvage Plan) in advance of the proposed demolition at 7119 Tecumseh Road (the subject property) in the Municipality of Lakeshore, Essex County. The subject property is also known as the Church of Annunciation and is designated under Part IV of the *Ontario Heritage Act* (OHA) by By-law 84-2007 which was later amended under By-law 32-2017. The subject property is recognized for its historical and architectural significance. This HIA will consider the impacts of the proposed demolition and recommend mitigation measures in accordance with the Municipality of Lakeshore's Official Plan and County of Essex Official Plan. There are no adjacent properties which are recognized under the OHA.

The subject property is located within the Municipality of Lakeshore (henceforth the Municipality), an amalgamated community composed of the Town of Belle River and the townships of Maidstone, Rochester, Tilbury North and Tilbury West. The irregularly sized property parcel is located in the village of Stoney Creek or Point aux Roches, a historic French settlement along Lake St. Clair. The subject property is located on the south side of Tecumseh Road with the façade facing the roadway. The subject property is bound by Tecumseh Road to the north, Our Lady of Annunciation Catholic School to the east, a railway corridor to the south and an adjacent residential property to the west. The residential property to the west is historically linked to the subject property as the former clerical residence. The subject building, the former Our Lady of Annunciation Church, is located close to the center of the property parcel and is surrounded by a primarily grassed landscape with a handful of mature trees, paved pathways and a parking lot to the east (Map 2). Specifically, the subject property is situated on Part of Lot 7, Concession 1, Geographic Township of Tilbury North, designated as Part 1 and 3 on Reference Plan 12R-23313, Town of Lakeshore, being part of PIN 75067-0167.

The proposed site alteration includes the full removal of the building. No new development is proposed at this time; however, property development may be undertaken in the future. An HIA has been requested by the Municipality of Lakeshore to present recommendations regarding the Cultural Heritage Value or Interest (CHVI) and potential project impacts as a result of the proposed site alteration.

The Municipality does not currently have a HIA Terms of Reference. ARA consulted the *MTCS InfoSheet #5: Heritage Impact Assessments and Conservation Plans* which stipulates an HIA must include the following items:

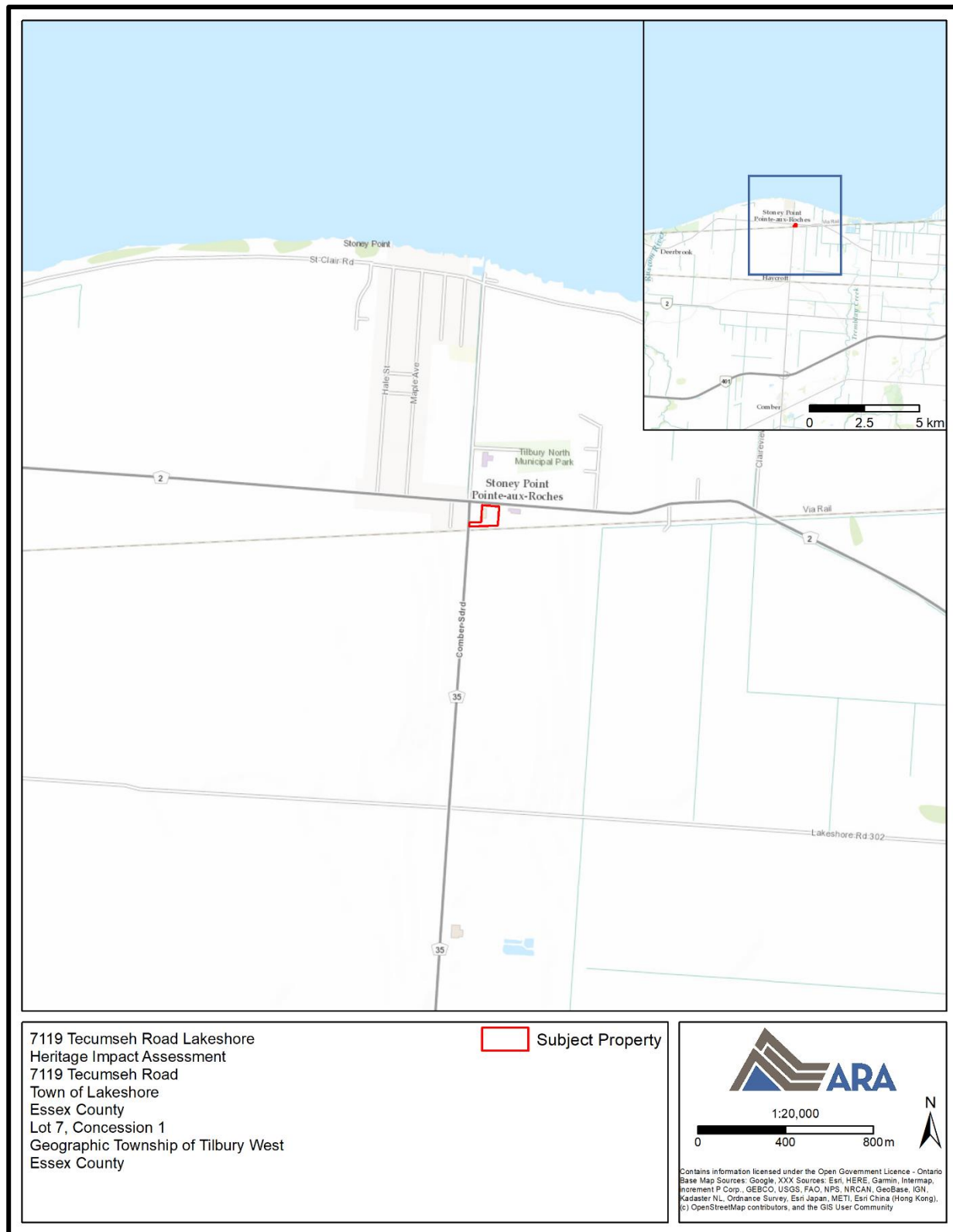
1. Historic Research, Site Analysis and Evaluation
2. Identification of the Significance and Heritage Attributes of the Cultural Heritage Resources
3. Description of the Proposed Development or Site Alteration
4. Measurement of Development of Site Alteration Impact
5. Consideration of Alternatives, Mitigation Measures and Conservation Methods
6. Implementation and Monitoring
7. Summary Statement and Conservation Methods
8. Bibliography and Qualifications

ARA consulted with the Municipality's Planner who indicated that Section 1 can be derived from the property's existing designation By-law and no additional research is required. A detailed policy analysis was not required; however, Section 2.0 has been included to provide insight into the

provincial guidelines and policies. Additionally, Section 10.0 has been scoped to include mitigation measures, with an emphasis on symbolic conservation.

The current property owners are:
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The purpose of the scoped HIA is to provide a clear understanding of the CHVI of the subject property, review the impacts associated with the proposed site alteration, and provide mitigative measures and conservation strategies. This assessment was conducted in accordance with the aims of the *Planning Act* R.S.O. 1990, c. P.13, *Provincial Policy Statement* (2020 and the *Ontario Heritage Act*, R.S.O. 1990, c. O.18.



Map 1: Subject Property in the Town of Lakeshore, Essex County
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri)



Map 2: Aerial View of Subject Property in the Town of Lakeshore, Essex County
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri)

2.0 LEGISLATIVE AND POLICY REVIEW

A detailed policy analysis was not required for this HIA, however the framework for this assessment report is provided in part by federal guidelines, and provincial planning legislation and policies, which have been discussed below. The subject property is recognized under Part IV of the OHA.

2.1 Federal Guidelines

At the national level, *The Standards and Guidelines for Conservation of Historic Places in Canada* (Parks Canada 2010) provides guidance for the preservation, rehabilitation and restoration of historic places, including cultural landscapes and built heritage resources. Such guidance includes the planning and implementation of heritage conservation activities.

2.2 Provincial Policies and Guidelines

2.2.1 *The Planning Act:*

In Ontario, the *Planning Act* is the primary document used by provincial and municipal governments in land use planning decisions. The purpose of the *Planning Act* is outlined in Section 1.1 of the Act, which states:

- 1.1** *The purposes of this Act are,*
- (a) to promote sustainable economic development in a healthy natural environment within the policy and by the means provided under this Act;*
 - (b) to provide for a land use planning system led by provincial policy;*
 - (c) to integrate matters of provincial interest in provincial and municipal planning decisions;*
 - (d) to provide for planning processes that are fair by making them open, accessible, timely and efficient;*
 - (e) to encourage co-operation and co-ordination among various interests;*
 - (f) to recognize the decision-making authority and accountability of municipal councils in planning.* 1994, c. 23, s. 4.

Part I Provincial Administration, Section 2 states:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under the Act, shall have regard to, among other matters, matters of provincial interest such as,

- (d) the conservation of features of significant architectural, cultural, historical, archaeological, or scientific interest.* 1990: Part I (2. d)

Part I Provincial Administration, Section 3, 5 Policy statements and provincial plans states:

A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Tribunal, in respect of the exercise of any authority that affects a planning matter,

- (a) shall be consistent with the policy statements issued under subsection (1) that are in effect on the date of the decision; and*
- (b) shall conform with the provincial plans that are in effect on that date, or shall not conflict with them, as the case may be. 2006, c. 23, s. 5; 2017, c. 23, Sched. 5, s. 80.*

The current *Provincial Policy Statement* (PPS), issued under section 3 of the *Planning Act*, came into effect May 1, 2020.

2.2.2 The Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS 2020) contains a combined statement of the Province's land use planning policies. It provides the provincial government's policies on a range of land use planning issues including cultural heritage outlined in Section 1.7 c) as including: "Ontario's long-term prosperity, environmental health, and social well-being depend on conserving biodiversity, protecting the health of the Great Lakes, and protecting natural heritage, water, agricultural, mineral and cultural heritage and archaeological resources for their economic, environmental and social benefits" (Section 1.7 e) MMAH 2020:24). The PPS 2020 (MMAH 2020:31) promotes the conservation of cultural heritage resources through detailed policies in Section 2.6, such as "2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved" and "2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved."

2.2.3 Ontario Heritage Act

The Ontario Heritage Act, R.S.O. 1990, c.018 is the guiding piece of provincial legislation for the conservation of significant cultural heritage resources in Ontario. The *OHA* gives provincial and municipal governments the authority and power to conserve Ontario's heritage. The Act has policies which address individual properties (Part IV), heritage districts (Part IV), and allows municipalities to create a register of non-designated properties which may have cultural heritage value or interest (Section 27).

In order to objectively identify cultural heritage resources, O. Reg. 9/06 made under the *OHA* sets out three principal criteria with nine sub-criteria for determining CHVI (MTCS 2006a:20–27). The criteria set out in the regulation were developed to identify and evaluate properties for designation under the *OHA*. Best practices in evaluating properties that are not yet protected employ O. Reg. 9/06 to determine if they have CHVI. In the absence of specific Cultural Heritage Landscape (CHL) evaluation criteria, O. Reg 9/06 is also applied to consider the built and natural features and the property as a whole. The O. Reg. 9/06 criteria includes: design or physical value, historical or associative value and contextual value.

1. *The property has design value or physical value because it,*
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
 - ii. displays a high degree of craftsmanship or artistic merit, or*
 - iii. demonstrates a high degree of technical or scientific achievement.*

2. *The property has historical value or associative value because it,*
 - i. *has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
 - ii. *yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
 - iii. *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*

3. *The property has contextual value because it,*
 - i. *is important in defining, maintaining or supporting the character of an area,*
 - ii. *is physically, functionally, visually or historically linked to its surroundings, or*
 - iii. *is a landmark. O. Reg. 9/06, s. 1 (2).*

An OHA designation provides the strongest heritage protection available for conserving cultural heritage resources.

2.3 Summary of Policies and Guidelines

Provincial legislation and policies call for the identification and conservation of cultural heritage resources, their retention and they provide policies related to potential development impacts to cultural heritage resources. Federal guidelines provide direction on many activities including the appropriate actions in terms of cultural heritage resource conservation, restoration and maintenance. This HIA will address these cultural heritage policies and guidelines as they relate to 7119 Tecumseh Road.

3.0 KEY CONCEPTS

The following concepts require clear definition in advance of the methodological overview and proper understanding is fundamental for any discussion pertaining to cultural heritage resources:

- **Cultural Heritage Value or Interest (CHVI)**, also referred to as Heritage Value, is identified if a property meets one of the criteria outlined in O. Reg. 9/06 namely historic or associate value, design, or physical value and/or contextual value. Provincial significance is defined under *Ontario Heritage Act (OHA) O. Reg. 10/06*.
- **Built Heritage Resource (BHR)** can be defined in the *PPS* as: “a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including Indigenous community. Built heritage resources are located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial and/or federal and/or international registers” (MMAH 2020:41).
- **Conserved** means “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact statement that has been approved, accepted or adopted by relevant planning authority and/or decision-makers. Mitigative measures and/or alternative development approaches can be included in these plans and assessments” (MMAH 2020:41).
- **Cultural Heritage Landscape (CHL)** is defined in the *PPS* as: “a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning By-law, or other land use planning mechanisms.” (MMAH 2020:42).
- **Heritage Attributes** are defined in the *PPS* as: “the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property)” (MMAH 2020:44-45).
- **Protected heritage property** is defined as “property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites” (MMAH 2020:49).
- **Significant** in reference to cultural heritage is defined as: “resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act” (MMAH 2020:51).

4.0 CONSULTATION

Built Heritage Resources (BHRs) and Cultural Heritage Landscapes (CHLs) are broadly referred to as cultural heritage resources. A variety of types of recognition exist to commemorate and/or protect cultural heritage resources in Ontario. As part of consultation, ARA reviews relevant online sources and databases to determine if any of the subject properties within the project location are recognized.

The Minister of the Environment, on the advice of the Historic Sites and Monuments Board of Canada (HSMBC), makes recommendations to declare a site, event or person of national significance. The National Historic Sites program commemorates important sites that had a nationally significant effect on, or illustrates a nationally important aspect of, the history of Canada. A National Historic Event is a recognized event that evokes a moment, episode, movement or experience in the history of Canada. National Historic People are people who are recognized as those who through their words or actions, have made a unique and enduring contribution to the history of Canada. The Parks Canada's online *Directory of Federal Heritage Designations* captures these national commemorations as well as lists Heritage Railway Stations, Federal Heritage Buildings and Heritage Lighthouses. The subject property is not recognized as having national significance (Parks Canada 2022).

Another form of recognition is the *Canadian Register of Historic Places* which contains properties recognized by federal, provincial and territorial governments. As noted above, recognition in the Register does not offer protection from alteration/destruction but these properties may have other government designations/protections that do offer protections. The subject property is not recognized on the Canadian Register of Historic Places.

The Ontario Heritage Trust (OHT) operates the Provincial Plaque Program that has over 1,250 provincial plaques recognizing key people, places and events that shaped the province. Additionally, properties owned by the province may be recognized as a "provincial heritage property" (MTCS 2010). The OHT plaque database was searched. The subject property is not commemorated with an OHT plaque, (OHT 2022; Parks Canada 2021).

Protected properties are those protected by Part IV (individual properties) or Part V (Heritage Conservation District) designation under the *OHA*. Once designated, a property cannot be altered or demolished without the permission of the local council. A cultural heritage resource may also be protected through a municipal or OHT easement. Under *Section 27* of the *OHA*, a municipality must keep a Municipal Heritage Register. A Municipal Heritage Register lists designated properties as well as other properties of cultural heritage value or interest in the municipality. Properties on this Register that are not formally designated are commonly referred to as "listed." Listed properties are flagged for planning purposes and are afforded a 60-day delay in demolition if a demolition request is received.

MTCS current list of Heritage Conservation Districts was consulted. The property was not found to be located within a designated district (MTCS 2021). The Municipality of Lakeshore *Municipal Heritage Register* was consulted, and it was confirmed that the subject property is recognized as a designated property under Part IV of the *OHA* first under By-law 84-2007 and which was later amended to 32-2017. No CHLs in or around the subject property were identified or recognized through *Official Plan* policies.

At project commencement, ARA contacted the Municipality of Lakeshore's Planner to inquire about: 1) the scope of work required for the HIA, 2) previous studies relevant to the current study, and 3) other heritage concerns regarding subject property. The Municipality's Planner confirmed that the Municipality does not have a defined terms of reference (TOR) for HIA reports and agreed on a scoped TOR would be based on best practices as laid out in the Ontario Heritage Toolkit. The agreed upon scope is reflected in the contents of this report.

5.0 FIELD SURVEY

The field survey component of the project involves the collection of primary data through systematic photographic documentation of all potential cultural heritage resources within the study area, as identified through historical research and consultation. Additional cultural heritage resources may also be identified during the survey itself. Photographs of the subject property are taken, as are general views of the surrounding landscape. The field survey also assists in confirming the location of each potential cultural heritage resource and helps to determine the relationship between resources.

A field survey was conducted on July 22, 2022, to photograph and document the study area and record any local features that could enhance ARA's understanding of their setting in the landscape and contribute to the cultural heritage evaluation process. Legal permission to enter and conduct all necessary fieldwork activities on the project location was granted by the property owner. Exterior documentation was carried out. The interior was accessed during ARA's field study and full Personal Protection Equipment, including respirators, were worn.

The red brick structure was documented in a clockwise manner (see Image 1 to Image 18). Map 3 illustrates the location and direction of each photograph taken of the exterior of the structure and surrounding context. The map and photos can be found in Appendix A.

6.0 PROPERTY DESCRIPTION

The subject property is located on the south side of Tecumseh Road and is oriented on a north-south axis facing Tecumseh Road. The subject property includes a red brick masonry structure known as the Our Lady of Annunciation Church (the subject building). The subject property has two vehicular entrances, the primary being from the north along Tecumseh Road with a rear laneway accessible from the west via Comber Sideroad.

6.1 Contextual Surrounding

The subject property is located within the Municipality of Lakeshore, an amalgamated community composed of the Town of Belle River and the townships of Maidstone, Rochester, Tilbury North and Tilbury West. The subject property is located in the village of Stoney Creek or Point aux Roches, a historic French settlement along Lake St. Clair. The subject property is located on the south side of Tecumseh Road with the façade facing the roadway. The building is bound to the north by Tecumseh Road, to the east by Our Lady of Annunciation Catholic School, to the south by a railway corridor and the west by an adjacent residential property. The residential property to the west is historically linked to the subject property as the former clerical residence (see Image 5). The properties were subdivided in 2009 (Municipality of Lakeshore 2009:4). The property currently contains one structure, a red brick church, commonly known as the Our Lady of Annunciation Church.

6.2 Landscape Features

The topography of the property is flat, with the majority of the land surrounding the Church covered in grass. There is a scattering of mature deciduous and coniferous trees located along the eastern side of the Church. A large asphalt parking lot is located along the eastern edge of the property and leads to a rear laneway that connects with Combers Road to the west. The area between Tecumseh Road and the Church façade is paved and while currently overgrown appears to have been a designed landscape at one point with shrubbery, fountain, and wooden arbour.

6.3 Exterior

The subject building is a large one-storey former place of worship with Richardson Romanesque architectural features. The red brick masonry structure follows a rectangular floor plan with a front gable roof and rests on a limestone foundation. The roof is clad in asphalt shingles. The roofline of the façade is defined by the decorative elements constructed of pressed tin including a centered belfry which is flanked by sloped parapet walls and pinnacles (see Image 10). The belfry has openings on all sides, framed by a rounded horseshoe arch and while not accessible during ARA's field survey, the bell was partially visible from the exterior (see Image 11). The belfry also features wooden decorative elements including a pediment on all four sides, tongue-and-groove soffit boards, bracketing and a molded string course.

The church has a symmetrical, three-bay façade that faces north towards Tecumseh Road (see Image 9). Concrete stairs provide access to the three entrance doors which span the entire façade. The brick masonry along the façade features projecting brick masonry units, banding, and corbelling, creating a strong decorative effect (see Image 12). A round window opening is located directly below the belfry, otherwise all openings area framed by a rounded arch with projecting brick voussoirs. Limestone keystones or sills further embellish the window openings on the

façade. A limestone cross is embedded into the brick masonry and located directly above the façade's centre entrance. The window openings all contain leaded stained glass windows with wooden tracery and a large stained glass transom window is located above the centre entrance with wooden trefoil tracery.

The east elevation features similar decorative brickwork as seen on the façade with corbelled courses and projecting round arch voussoirs over the first storey window openings. The first storey window openings are paired, and all contain leaded stained glass windows of a similar design and have limestone sills (see Image 13). The building's coursed limestone foundation is further revealed on this elevation, showing the basement window openings to have either segmental or jack arches with angled stone voussoirs. A tall brick chimney extends above the roofline on this elevation (see Image 14). An entrance portico constructed of rock-faced concrete block with a flat roof is located on the east elevation and provides access to the basement storey. A secondary entrance to the basement storey is located on this elevation towards the rear of the building (see Image 15). A spirelet constructed of pressed tin and of a similar design to the pinnacles on the façade is located along the ridgeline and visible from the east, south and west elevations.

The south elevation contains three single windows opening of the same design as the windows described on the east elevation (see Image 16). The brickwork detailing also matches the decorative elements described along the façade. Two basement windows are located on the south elevation, both of which have been boarded up. The rear of the building, the former chancel of the church is slightly narrower than the nave and has a hip roof that has been clad in asphalt shingles.

The west elevation features the same decorative elements and fenestration as described on the east elevation, though no portico or chimney is present on this elevation (see Image 17). A datestone is located at the northwest corner of the building, located above the limestone foundation course and reads "A.D. 1905" (see Image 18).

Additional descriptions of the exterior elements are found in Section 7.3 *Observed Conditions of Heritage Attributes*.

6.4 Interior

The interior of the building has deteriorated finishes throughout, having been unoccupied since 2016 and signs of breached access and vandalism were present.

The façade's centre entrance opens to a raised entrance lobby or narthex, the walls of which are finished with wooden oak paneling (see Image 19 and Image 21). The narthex opens to the nave and aisles, a largely open space with a vaulted roof that is supported by Corinthian columns constructed of pressed tin (see Image 22–Image 24). A raised apse is located along the southern end of the first floor where four wooden pilasters are evenly spaced along the curved wall (see Image 25).

The vaulted roof is also constructed of pressed tin, which has been painted. A large mural with three biblical motifs and the words "Ecce Ancilla Domini Fiat Mihi Secundum Verbum Tuum" are painted on the ceiling and located directly above the apse (see Image 26 and Image 27). The pressed tin ceiling features decorative ceiling medallions and a pressed tin cornice with dentils and an egg-and-dart pattern wraps around the perimeter of the first storey (see Image 28 and

Image 29). The ambulatory wraps around the rear of the apse and is clad in wood paneling and has a small kitchenette space and stairs leading to the basement level of the church (see Image 30–Image 32).

A balcony is located at the northern end of the nave and also features pressed tin ornamentation in the form of bracketing and along the balcony ridge (see Image 33 to Image 35). Stairs to the balcony are located on both the east and west sides of the balcony (see Image 36 and Image 37). Two of the pressed tin Corinthian columns located in the balcony are accessible and cracking paint reveals the columns were previously painted gold (see Image 38 and Image 39). A ceiling hatch that would provide access to the belltower and belfry is located at the approximate centre of the balcony along the northern wall (see Image 40 and Image 41). A significant leak, located at the northeastern corner of the balcony has resulted in portions of the tin ceiling falling (see Image 42).

The basement of the church is accessed via staircases on the east and west side of the narthex with beadboard paneling along the walls (see Image 43 and Image 44). The bottom of the stairway is enclosed with paired wooden six-panel doors (see Image 45). The entire basement level was observed to be flooded, with approximately one inch of standing water, which has resulted in significant damage and deterioration to the interior of this floor. The basement features a terrazzo floor and has had a dropped tile ceiling installed throughout. The basement staircases open to a hall area (see Image 46 and Image 46). The hall leads to a larger main room to the north. This room on this floor is a largely open space, supported by plain, iron columns (see Image 47 and Image 48). While the dropped tile ceiling remains largely in place, missing tiles reveal that the ceiling tiles have been installed over a tongue and groove wooden board ceiling finish (see Image 49). The basement also contains smaller rooms composed of bathrooms, a mechanical room and kitchenette (see Image 50 to Image 53). Extensive mold was present throughout this floor (see Image 51 and Image 52).

The majority of the window openings in the church house leaded, stained glass windows which follow a similar design motif and colour scheme (see Image 54 and Image 55). The windows were observed to be in varying condition with many damaged and in some instances missing entirely (see Image 56 to Image 58).

6.5 Structural Assessment

In May 2022, George Mikhael, P. Eng. conducted a condition survey of the subject property to evaluate and identify concerns related to the church's condition and prepare a structural report of the observed conditions (see Appendix B). Based on a visual inspection, Mikhael's report found there to be numerous health and structural hazards on the interior and exterior of the building. Observed deficiencies noted in Mikhael's report include:

- *The entrance of the church including the concrete stairs are in a very poor condition. Extensive work is required to repair the existing concrete damaged by the weather & neglecting maintenance.*
- *From outside the building, many bricks, debris & roof materials fell on the perimeter of the Church. Strict Caution are to be observed when approaching these premises due to the imminent danger caused by the materials fallen from the roof.*

- *The inside of the building is not at all in better condition than the outside. After carefully investigating the conditions of the walls, we deduce the followings:*
 - *The seepage of the water from the roof into the walls is obvious due to the damage of interior facade of the supporting structural walls (Gypsum board & Painting).*
 - *Wood Elements which formed the structure of the walls are in some places deteriorated.*
 - *Many spots on the walls are stained and molds are formed in my opinion. The mold constitutes a hazard on the health of the public.*
 - *Water is accumulated everywhere, on the floors, in the basement, etc.*
 - *The Ceiling of the structure is crumbling and is a very potential hazard on the safety of the public. Also caution must be observed when entering the premises.*
- *From the whole we deduce this statement:*
 - *The building (Church) is not structurally safe & sound. It is a danger of the public safety & wellbeing. It should be demolished in my professional opinion (Mikhael 2022).*

Mikhael's report concluded with the statement in his professional opinion, the building should be condemned by the Municipality of Lakeshore.

7.0 HERITAGE ASSESSMENT

The subject property is designated under Part IV of the OHA under By-law 84-2007 and recognized for its design and physical value, historical and associative value, and contextual value. While the property's designation By-law was amended in 2017 under By-law 32-2017, this amendment only applied to the legal description of the property and the Statement of Cultural Heritage Value or Interest remains unchanged. The following is taken directly from By-law 84-2007.

7.1 Statement of Cultural Heritage Value or Interest and Attributes

The Church of the Annunciation

1. Design or Physical Value

The church in Stoney Point is the product of Father N.D. St-Cyr's ambitious plans for transforming the Roman Catholic Church property in Stoney Point. Father N.D. St-Cyr, from Nicolet, Quebec, arrived at Stoney Point at the start of 1893 and was still making improvements to the physical fabric of the church property three years before his departure in 1914.

For the design of the church, Father St-Cyr turned to Louis Caron Junior whom he knew from Nicolet. Louis Caron Junior, in practice as an architect since 1890, was a prolific designer of churches, rectories, convents and other buildings in Quebec. The Church of the Annunciation in Stoney Point, erected in 1905 to his 1903 plans, was his only church commission in Ontario. The design Louis Caron Junior supplied is in some ways similar to his designs for churches in Windsor-Mills, Gentilly, Sainte-Cecile de Levrard, Notre-Dame-du-Bon-Conseil, Saint-Louis-de-Blandford and Victoriaville. The design reflects the traditions of church building in Quebec and the architectural tastes of French Canadians at the turn of the twentieth century.

The Church of the Annunciation exhibits in both its exterior and interior the Romanesque Revival style in the French-Canadian tradition. The exterior features the round Roman arch which often distinguishes Roman Catholic churches in Ontario from Protestant churches and their preference for the pointed Gothic arch. Characteristically French Canadian are the belltower with open belfry (clocher), twin flanking towers (in this case reduced to pilasters surmounted by pinnacles), an oculus at the apex of the front gable (in the third tier of the central tower) and a spirelet (fleche) of the same design as the front pinnacles and located toward the south end of the church over the sanctuary and altar inside.

Pressed tin, a material that became widely available in the late nineteenth century, adorns the roofline of the church that is generally restrained in appearance on the exterior; and is applied throughout the interior to great decorative effect. The pressed tin patterns were probably designed in Nicolet and may even have been cast in the factory of Louis Caron et Fils where a blacksmith and metal workers were employed. In any event, the varied and wide use of

pressed tin at the Church of the Annunciation and its survival into the twenty-first century are remarkable.

For Father St-Cyr's last project, he ordered the magnificent Casavant pipe organ in 1911 from St. Hyacinthe, Quebec for installation in the center of the church's gallery: After the departure of Father St-Cyr, the influence of French-Canadian designers continued. The painted decoration on the ceiling by Louis and Roland Jobin, Montreal transplants who worked on many ecclesiastical projects in Essex County, add to the artistic merit of the church's interior.

The influence of a Quebec-educated priest and Quebec designers on the Church of the Annunciation in Stoney Point is key to understanding the church's historic character.

2. Historical or Associative Value

The design influences from Quebec on the Church of the Annunciation demonstrate the close links a hundred years ago between Quebec and Essex County, 800 kilometers away. The Church of the Annunciation is the legacy of the cultural connection between French Canadians across provincial borders. G. Emmett Carter, the Bishop of London, acknowledged the cultural connection in the introduction to Breault's 1967 history:

"Notre milieu canadien-français, fidele aux traditions de ceux qui ont longe le fleuve St-Laurent et qui ont fonde leurs foyers sur les bords de nos grands lacs se rejouit de la foi gardee intacte, de l'attachement a l'eglise paroissiale, a l'eglise universelle."

In translation: 'The French Canadians in our midst, faithful to the traditions of those who lived along the St. Lawrence River and who founded their homes on the shores of our Great Lakes, rejoice in their faith guarded intact, in their attachment to the parish church, in the church universal.'

In addition to its broader significance, the church has been the centre of parish life and village activity for a century. It has served the function of the most important institution in the generally French Canadian and Roman Catholic community, and has stood alone without the normal array of different churches seen in most other Ontario villages and small towns.

3. Contextual Value

In his 1944 doctoral thesis on the geography of Essex County, Neil F. Morrison discusses the primacy of the church in the rural French-Canadian landscape:

"In general, it may be said that the rural French-Canadian cultural structure rests upon four pillars - church, home, farm and language. The lofty spire of the Roman Catholic Church rises above the smaller French communities of Essex County and dominates the rural landscape just as it does in the Province of Quebec."

In its height, size and embellishment, the Church of the Annunciation symbolizes the French-Canadian cultural structure of Stoney Point. The church is the dominant historic building in Stoney Point.

The following heritage attributes were identified in the property's designation By-law:

- *Limestone foundation and detail;*
- *Brick walls with their decorative brickwork;*
- *Windows, round-arched transom light over the main entrance;*
- *Wooden stringcourse;*
- *Brackets and eaves around the belltower;*
- *Tin-covered belfry, parapet, pinnacles and spirelet;*
- *Date stones;*
- *Brick chimney;*
- *The church's footprint with the indented sanctuary/sacristy and the slopes of the roofs;*
- *Basement materials including:*
 - *The stained glass windows;*
 - *Wainscoting;*
 - *Six-paneled doors and;*
 - *Staircases with Tuscan newel posts in the east and west stairwells to the narthex;*
- *Narthex materials including:*
 - *Stained glass transom light and windows;*
 - *Pressed tin cornice and ceiling and;*
 - *Light fixtures;*
- *The layout of central nave, side aisles, columns separating the two, and sanctuary;*
- *In the main body of the church:*
 - *The columns, arcade and cornice;*
 - *Stained glass windows;*
 - *Vaulted ceiling;*
 - *Side aisle ceilings;*
 - *Bible verse, cross and roundels painted on the ceiling above the altar and;*
 - *Columns and balustrade at the gallery.*

7.2 Evaluation of 7119 Tecumseh Road According to Ontario Regulation 9/06

Using the information provided by By-law 84-2007 and field survey, the Town requested an evaluation of 7119 Tecumseh Road according to O. Reg. 9/06 to determine if the CHVI remains. A summary of the evaluation can be found below in Table 1.

Table 1: Evaluation of 7119 Tecumseh Road Using O. Reg. 9/06

Evaluation of Property			
Criteria	Description	✓	Value Statement(s)
Design or Physical Value	Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method	✓	7119 Tecumseh Road contains a unique example of a church constructed in the Romanesque Revival architectural style that reflects French-Canadian architectural tradition. Built in 1905, the design of the church at 7119 Tecumseh Road reflects the architectural tastes and craftsmanship of church construction typical of French Canadians and seen throughout Quebec.
	Displays a high degree of craftsmanship or artistic value	✓	The pressed tin detailing applied throughout the interior is a decorative effect and displays a high degree of artistic value.
	Displays a high degree of technical or scientific achievement		7119 Tecumseh Road does not display a high degree of technical or scientific achievement.
Historical or Associative Value	Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community	✓	7119 Tecumseh Road is associated with the early French-Canadian community that developed around the historic community of Stoney Point and Essex County.
	Yields or has the potential to yield information that contributes to the understanding of a community or culture		7119 Tecumseh Road does not yield or have the potential to yield information that contributes to the understanding of a community or culture.
	Demonstrates or reflects the work or ideas of an architect, builder, artist, designer, or theorist who is significant to a community	✓	The church structure at 7119 Tecumseh Road reflects the work of Louis Canon Junior, a 19 th century architect whose prolific body of work included churches, rectories, convents and other buildings throughout Quebec. The Annunciation Church is a rare example of Canon Junior's work in Ontario.
Contextual Value	Is important in defining, maintaining, or supporting the character of an area	✓	Located adjacent to intersection of Tecumseh Road and Combers Road, the primary intersection of the Village of Stoney Point, the Annunciation Church is important in defining and supporting the historic character of the area.
	Is physically, functionally, visually, or historically linked to its surroundings	✓	7119 Tecumseh Road is historically linked to the adjacent property at 7025 Tecumseh was the former clerical residence.
	Is a landmark	✓	7119 Tecumseh Road is a landmark due to its large scale, embellishment and prominent placement adjacent to the main intersection of the community of Stoney Point.

7.3 Observed Condition of Heritage Attributes

The described architectural style, massing and general overall form of the structure was still observable/interpretable during the field survey however there is visible deterioration on both the exterior and interior of the structure. This is likely the direct result of the property being vacant for years and little to no maintenance efforts being implemented. Furthermore, select decorative

architectural elements have been modified, damaged and/or have been removed. A detailed review of observed conditions is found in Table 3.

7.3.1 Summary of Evaluation

The O. Reg 9/06 evaluation confirms that 7119 Tecumseh Road has CHVI and has met criteria for design or physical value, historical or associative value and contextual value. The observed condition of the property noted that while the building is in an advanced stage of deterioration and has been evaluated as no longer structurally sound, the majority of the described heritage attributes in By-law 84-2007 are present.

8.0 PROPOSED SITE ALTERATION

According to the current owners Mia and Kamal Lachine, the property was acquired in 2016 and has remained vacant for the entire duration of their ownership. According to the owner there was initial interest in seeing the church converted to a residential structure as part of a larger plan of subdivision for the property, however they noted that there were too many challenges to the adaptive reuse of the building, and it was never pursued.

Increased vandalism and safety concerns prompted the owners to examine the options or redevelopment and/or of removal of the building (Pers. Comm. Lachine 2022). A structural report was completed in January 2020 to review the existing condition of the church (see Appendix B). After reviewing the structural assessment, the owner determined that the investment was too great to pursue any rehabilitation options. In April 2020, the property owners submitted a planning justification report that included a request to demolish the subject building to the Municipality (Municipality of Lakeshore 2020:121). As required for a property designated under Part IV of the OHA, the municipality consulted with the Municipal Heritage Committee who responded with the following resolution:

[That] the applicants present back to this Committee a Heritage Impact Study or Assessment, to inventory the historical items that might be salvageable; and that the applicants also provide an amended engineer's report, detailing what the cost would be to bring the church to a salvageable and safe condition (Municipality of Lakeshore 2020).

The property owner commissioned a secondary structural report which was completed in May 2022, which again found the church to pose a health and safety hazard (see Appendix B). In June 2022, the Municipality of Lakeshore conducted an inspection of the property and based on the conditions observed, issued a Property Standards Violation to the property owner. As part of a new application to demolish the structure, the property owner has retained ARA to complete an HIA to fulfill the heritage advisory committee's 2020 resolution.

While there is the potential for the property to be subdivided into a multi-lot residential development in the future, currently there are no plans for new development on the site. As such, this HIA has been drafted in response to the proposed demolition of the structure.

9.0 ANALYSIS OF POTENTIAL IMPACTS

The MTCS *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b:3) provides a list of potential negative impacts to consider when evaluating any proposed development. Impacts can be classified as either direct or indirect.

Direct impacts (those that physically affect the heritage resources themselves) include, but are not limited to: initial project staging, excavation/levelling operations, construction of access roads and renovations or repairs over the life of the project. These direct impacts may impact some or all significant heritage attributes or may alter soils and drainage patterns and adversely impact unknown archaeological resources.

Indirect impacts include but are not limited to: alterations that are not compatible with the historic fabric and appearance of the area; alterations that detract from the cultural heritage values, attributes, character or visual context of a heritage resource. This could include the construction of new buildings; the creation of shadows that alter the appearance of an identified heritage attribute; the isolation of a heritage attribute from its surrounding environment; the obstruction of significant views and vistas; and other less-tangible impacts.

InfoSheet #5: Heritage Impact Assessments and Conservation Plans (MTCS 2006b:3) provides an overview of several major types of negative impacts, including but not limited to:

- Destruction of any, or part of any, significant heritage attributes;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or significant relationship;
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource (MTCS 2006b).

An assessment of impacts on the property at 7119 Tecumseh Road can be evaluated using the negative impacts presented in *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (MTCS 2006c). The impacts are examined below in Table 2.

Table 2: Impact Evaluation of Proposed Site Alteration
(Adapted from MTCS 2006c:3)

Type of Negative Impact	Applicable? (Y/N)	Comments
Destruction of any, or part of any, significant heritage attributes.	Y	The proposed site alteration includes the full removal of the subject building at 7119 Tecumseh Road and all its associated heritage attributes.

Type of Negative Impact	Applicable? (Y/N)	Comments
Alterations to a property that detract from the cultural heritage values, attributes, character or visual context of a heritage resource; such as the construction of new buildings that are incompatible in scale, massing, materials, height, building orientation or location relative to the heritage resource.	N	The proposed site plan does not include any alterations, it involves the complete removal the subject building.
Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.	N	The proposed site alteration will not create any shadows that would alter the appearance of a heritage attribute. No natural features or plantings were identified as heritage attributes.
Isolation of a heritage attribute from its surrounding environment, context or significant relationship.	Y	The proposed site alteration involves the removal of the red brick subject building which is described in the designation By-law as the dominant historical building in Stoney Point. The proposed demolition will remove the property's historical link the adjacent former clerical residence.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	N	The proposed site alteration will not cause any direct or indirect obstruction of views as no significant views and vistas were identified as a heritage attribute.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.	N	A future land use for this property has not been determined.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.	N	The proposed site alteration does not appear to include land disturbances which may adversely affect archaeological resources.

As Table 2 summarizes, all of the heritage attributes associated with 7119 Tecumseh Road will be directly adversely impacted by the site alteration as defined by MTCS *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b). The impacts include:

- Impact 1 – The proposed site alteration includes the full removal of the structure at 7119 Tecumseh Road and all its associated physical, historical and contextual heritage attributes.
- Impact 2 – The proposed site alteration involves the removal of the red brick former Our Lady of Annunciation Church which is described in the designation By-law as the dominant historical building in Stoney Point.
- Impact 3 – The proposed site alternation will remove the property's historical link the adjacent former clerical residence.

10.0 ALTERNATIVE DEVELOPMENT OPTIONS AND MITIGATION MEASURES

10.1 Alternatives Considered

The following section provides an analysis of two conservation options considered for 7119 Tecumseh Road.

10.1.1 Option 1: Do Nothing

The “Do Nothing” approach is an alternative development approach whereby the proposed demolition of the building does not proceed. The subject property would remain in-situ and the existing building would be retained. The property at 7119 Tecumseh Road would remain designated under Part IV of the *OHA*.

The structural condition assessment noted that due to numerous deficiencies within the exterior and interior any rehabilitation/reinforcement procedures for the structure are not possible and that the building was evaluated to be a danger to public safety and recommended for demolition (George Mikhael 2022). Additionally, the owners have noted that there is evidence of the building being repeatedly breached and vandalized. These instances contribute to the ongoing deterioration of the structure and pose a health and safety hazard. The ‘do nothing’ option would not address structural conditions and or health and safety concerns.

10.1.2 Option 2: Retention or Relocation of Building

Retention in situ is generally the best option for cultural heritage resources and would eliminate the impacts of the loss of this building. Unfortunately, as result of the ongoing vacancy of the building since at least 2020 the structural integrity of the building has suffered. As outlined in Section 6.5 the condition assessment indicated that the retention of the buildings is not feasible as “*the building is not structurally safe and sound*” and “*is a danger to the public safety and wellbeing*” (Mikhael 2022).

The relocation option allows for a cultural heritage resource to be moved within or beyond the subject property provided an appropriate context is maintained. This option assumes that the cultural heritage resource could be moved to retain its heritage integrity and value. Relocation of the Annunciation Church is not considered feasible due to the structural deficiencies as outlined in Section 6.5.

10.1.3 Option 3: Removal of Building and Symbolic Conservation

This option involves the complete removal of the building as recommended by the structural engineering report. The cultural heritage value will be lost, and the designation By-law will need to be removed as the cultural heritage value or interest will not longer be extant.

In instances where the proposed site alteration includes the complete demolition/removal or a cultural heritage resource, symbolic conservation should be considered. Symbolic conservation involves a thorough documentation of the site prior to demolition, and the creation of a Commemoration Plan that allows the historical value of a property to be expressed and communicated to the public. Further symbolic conservation can include the selective removal of

architectural elements during demolition which allows for their reuse in future design and/or as part of the commemorative approaches. This is the preferred option of the owners and the proposed site alteration outlined in Section 8.0.

10.2 Mitigative Measures

If the proposed demolition is carried out, the following mitigation measures should be adhered to. The impacts that are addressed by each mitigation measure have been provided in brackets for reference.

10.2.1 Cultural Heritage Resource Documentation Report (Impact 1, 2 and 3)

A Cultural Heritage Resource Documentation (CHRD) provides in-depth documentation of the building. The process involves photographic documentation of the structure as a whole from all (accessible) angles as well as detailed photographs of all elements. Contextual photographs are also taken of the landscape surrounding the resource. These photographs are recorded on a photo map. A physical description of the resource and detailed description of the landscape and context are also included in the report. Additional measured drawings, land use history, archival photographs or maps obtained could also be added to the report. This report should be provided to local municipalities, stakeholder groups, local historical societies, museums, archives and/or libraries as part of the public record. The completion of a CHRD should be carried out prior to demolition.

Detailed photographic and written documentation of 7119 Tecumseh Road, including the exterior and interior of the Our Lady of Annunciation Church has been completed as part of this HIA however it should be confirmed that the existing documentation has been completed to the satisfaction of Municipal staff.

10.2.2 Conservation Strategy (Impact 1)

In instances of building demolition/removal, the salvage of building materials is considered good practice for the retention of historic materials. Further, salvage positively contributes to climate change mitigation by diverting waste from landfill and providing an opportunity to extend the lifespan of materials and their embodied carbon footprint. As such, the salvage of exterior and interior materials should be encouraged as part of the site alteration and considered for reuse into future landscape design in public spaces and/or new construction on site or for reuse through a salvage company.

The materials that can be salvaged should be explored through a commemoration strategy that examines the condition of the materials, outlines their potential reuse opportunities and interpretation. A Commemoration Strategy has been outlined in Section 11.0.

10.2.3 Commemoration Plan (Impact 1)

Conservation through a Commemoration Plan allows the historical value of a property proposed for removal to be expressed and communicated to the public. The retention of components of a building for reuse prior to its demolition, or selective removal of identified architectural or landscape elements preserves portions or features of buildings and structures that possess historical, architectural or cultural value and can divert them from becoming landfill material. A

removal and reuse program would allow for the conservation of key components of a structure, or unique features which can express the architectural, historical or contextual heritage value through commemoration.

The Commemoration Plan would outline the symbolic conservation methods through techniques such as plaques and the integration of original materials (i.e., brick masonry, pressed tin elements, windows, or doors). Plaque (s)/displays placed within the existing location (or at an agreed upon off site location) and accessible to passing residents and visitors, would serve to convey information about the property's architectural history and connection with the development of the Stoney Point community. Through the use of text and historical images, the CHVI of 7119 Tecumseh Road as well as the historical relationship with surrounding area, can be expressed to the public.

A Commemoration Plan would:

- Explore options of integrating salvaged materials into any future landscape plans/site plans
- Recommend signage locations; and
- Outline graphics and text for signage.

The development of a Commemoration Plan should be completed prior to demolition activities in order to carry out any potentially recommended actions (i.e., salvage, further documentation). Installation of the interpretive elements may follow demolition as part of future site redevelopment. It is recommended that Municipality of Lakeshore Heritage Committee be consulted on the Commemoration Plan with respect to the form, design and location of the proposed commemoration.

10.3 Update Existing Register

The proposed site alteration will result in the removal of the Annunciation Church at 7119 Tecumseh Road and the heritage attributes associated with the property. As such, it will no longer warrants designation under Part IV of the OHA. The Part IV designation will require removal. It is understood that the designation may be retained on the property until such time as the conservation recommendations have been carried out.

11.0 CONSERVATION STRATEGY

Since the proposed site alteration for 7119 Tecumseh Road includes the removal of buildings associated with the property, a Conservation Strategy outlining the best practice conservation principles has been prepared as part of this report. The Conservation Strategy has considered and been informed by the mitigation measures outlined above.

The Conservation Strategy outlines opportunities for commemoration or interpretation of materials and features of the building. The current condition of the materials and features were analysed, and the appropriate conservation principles for future redevelopment were identified. The current conditions assessment was conducted by ARA's Conservator and focused only on the identified heritage features or attributes. The assessment was visual, no invasive methods were used. The Conservation Strategy recommends measures and strategies to ensure the conservation of these materials and features. These strategies are presented as an action plan of short, medium and long-term conservation measures and recommendations with suggestions for interventions, implementation, and monitoring. Specifically, the short-term plan includes salvage of identified materials, the medium-term solutions include storage and preservation considerations, and the long-term strategies include suggestions for potential future displays and/or commemoration.

11.1 Condition Assessment of Existing Heritage Materials

To inform a salvage and conservation plan, a field survey and visual condition assessment was necessary. A condition assessment provides a written and visual record of observable damage and material decay, including the location and degree to which damage is present, evidence of previous repairs, any obvious triggers of deterioration and, if detectable, whether the deterioration is active or stable.

11.1.1 Definitions

The following concepts are used throughout the report to describe the current condition of the material:

- **Condition Levels:** The condition of heritage attributes is classified as poor, fair, good, or excellent to aid in the assessment of the structure's state of deterioration.
 - **Poor:** Where the attribute shows evidence of severe deterioration.
 - **Fair:** Where the attribute shows evidence of moderate deterioration.
 - **Good:** Where the attribute shows evidence of minimal deterioration.
 - **Excellent:** Where the attribute shows no evidence of deterioration.

11.1.2 Condition Assessment Results

The information and recommendations in this Conservation Strategy reflect ARA's best judgement based on visual observation of an overall condition of materials. Some limitations to full documentation are explained here. No exploratory tests or material analysis were undertaken. Assessment was conducted from ground-level and does not include any materials or elements obscured or present on the roof. A more detailed condition assessment of individual objects selected for preservation should be completed as they are removed and prepared for storage.

A condition assessment was not completed for elements which were deemed unable or unlikely to be salvaged due to a lack of a clear link to the building's history as outlined in the designation By-law and/or increased risk of irreparable damage during extraction.

Table 3: Condition Assessment of 7119 Tecumseh Road Identified Heritage Attributes


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	Limestone	Limestone Foundation and Detailing	Fair	<p>The foundation's limestone masonry was observed to be in good condition overall; however, previous repairs and repointing appear to have used cementitious mortar on all elevations. The use of this mortar type will make salvaging of individual masonry units more difficult.</p> <p>The foundation masonry units and voussoirs and keystone detailing around openings have the potential to be salvaged and used as part of a commemoration plan.</p> <p>Masonry units not used as part of a commemoration strategy should be considered for salvaging and reuse elsewhere.</p> <p>The limestone cross on the church's façade was observed to be in good condition and have the potential to be salvaged and used as part of a commemoration plan. The date stone also appears in good condition and has the potential to be salvaged and used as part of a commemoration plan.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Red Brick</p>	<p>Brick Walls, Decorative Brickwork, Brick Chimney</p>	<p>Poor to Fair</p>	<p>Condition of bricks ranges across the building from poor to fair. Extensive cracking, spalling and loss of masonry units were observed across all elevations.</p> <p>Previous repairs and repointing using inappropriate, cementitious mortar has furthered brick deterioration. The use of this mortar type will make salvaging of individual masonry units more difficult.</p> <p>A selection of brick masonry units, or a portion of the decorative brick masonry such as the projecting brick voussoirs kept intact have the potential to be salvaged and used as part of a commemoration plan.</p> <p>Given the advanced deterioration of the brick masonry units and the use of a hard mortar type, the majority of bricks are unlikely to be suitable for salvage for recycling/reuse elsewhere.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Wood and Leaded Glass</p>	<p>Round Arched Transom Window</p>	<p>Poor to Good</p>	<p>Both the wooden tracery and leaded glass panels that compose the round arched transom window were observed to be in good condition. An exterior panel has protected the window from exposure.</p> <p>As a primary window fixture located on the main entrance along the façade of the church, the round arched transom window is considered a distinctive component of the building's design and is included as a heritage attribute in the property's designation By-law. As such, the window should be considered a high priority to be included in a commemoration plan.</p> <p>If the window or window material is not selected for use in a commemoration plan, it is recommended for salvage or recycling/reuse elsewhere.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
 <p>The photo section contains four images: top-left shows a well-preserved arched stained glass window with a colorful geometric pattern; top-right shows a window with missing glass and exposed wooden framing; bottom-left shows a window with a large section of glass missing, revealing the exterior; bottom-right shows two tall, narrow stained glass windows with similar colorful patterns.</p>	<p>Wood and Leaded Glass</p>	<p>Stained Glass Windows</p>	<p>Missing/ Poor to Fair</p>	<p>The condition of both the wooden frames and leaded glass panels that compose the stained glass windows throughout the church varied from poor to good with some windows missing or entirely broken. Deterioration noted included worn and broken lead connectors causing bowing and warping of the window as well as missing glass pieces.</p> <p>As a defining element of the church's design, viable windows, or windows with the least deterioration should be considered high priority for salvage and considered for incorporation into a commemoration plan.</p> <p>If only a selection of the windows are to be retained for future use in a commemoration plan, the remaining windows should be considered for salvage or recycling/reuse elsewhere.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	Wood	Wooden Stringcourse, Brackets and Eaves around Belltower	Poor to Fair	<p>Field survey was limited to views from the ground only, potentially limiting views of the material and any associated deterioration.</p> <p>The wooden components of the stringcourse, brackets and eaves ranged in condition, with some eave boards completely deteriorated/missing and brackets broken. Damage was primarily evident on the east side.</p> <p>The wooden components on all sides showed moderate cosmetic damage, with flaking and missing paint finishes.</p> <p>Where viable, the wooden brackets should be considered for salvaging and reuse as part of a commemoration plan.</p> <p>It is unlikely that the wooden boards composing the soffit and string course will be viable for recycling/reuse elsewhere and are not considered viable for salvage.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Pressed Tin</p>	<p>Belfry</p>	<p>Poor to Fair</p>	<p>Field Survey was conducted from the ground level, potentially limiting views to the condition of this heritage attribute.</p> <p>The pressed tin/sheet metal belfry appeared to be in fair condition overall, with select areas in poor condition showing signs of corrosion and pitting. This deterioration is likely associated with an eroded painted or tin finish which has fostered an environment for corrosion.</p> <p>The primary deterioration viewed on the belfry is a flaking paint finish. While this does leave the material more exposed to potential further deterioration, this is currently a cosmetic deterioration.</p> <p>As a defining characteristic on the façade of the building and a listed heritage attribute in the designation By-law, the belfry should be considered for incorporation or salvage as part of a commemoration plan.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Pressed Tin</p>	<p>Parapet</p>	<p>Fair</p>	<p>Field Survey was conducted from the ground level, potentially limiting views to the condition of this heritage attribute.</p> <p>The pressed tin/sheet metal parapet walls appeared to be in fair condition overall with moderate deterioration in the form of a flaking paint finish. While this does leave the material more exposed to potential further deterioration, this is currently a cosmetic deterioration.</p> <p>While the parapet wall is located on the façade of the building and is included as a listed heritage attribute in the designation By-law, the pressed tin/sheet metal components of the parapet wall will be less interpretable when removed from its context, making it less suitable for incorporation into a commemoration plan.</p> <p>Salvage of the metal material should be considered however to allow for the potential recycling/reuse elsewhere.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Pressed Tin</p>	<p>Pinnacles/Spirelet</p>	<p>Good</p>	<p>Field Survey was conducted from the ground level, potentially limiting views to the condition of this heritage attribute.</p> <p>The pressed tin/sheet metal pinnacles and spirelet appeared to be in good condition overall, with minimal deterioration observed, limited to areas with a slight flaking paint finish. deterioration.</p> <p>As a defining characteristic on the façade of the building and a listed heritage attribute in the designation By-law, the entire pinnacles/spirelet should be considered for incorporation or salvage as part of a commemoration plan.</p>



PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	Wood	Basement Wainscoting	Fair	<p>The beadboard wainscoting located in the basement stairwells were in overall fair condition, with boards and bead profile intact and no rotting or missing elements noted.</p> <p>The surface of the wooden boards showed signs of biological growth (mold), likely a result of the standing water throughout the basement level. At the time of the site visit, this mold had not penetrated the wooden members and has the potential to be cleaned from the wood.</p> <p>While these materials are listed as heritage attributes in the property's designation By-law, they are not considered to be distinctive to the design of this church specifically and are not a priority to be included as part of a commemoration plan.</p> <p>Salvage of the wooden material should be considered to for recycling/reuse elsewhere.</p>
	Wood	Basement Six Paneled Doors	Fair	<p>The six-panel wooden doors in the basement stairwells were observed to be in overall fair condition, no rotting or missing elements noted.</p> <p>The surface of the doors showed signs of biological</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
				<p>growth (mold), likely a result of the standing water throughout the basement level. At the time of the site visit, this mold had not penetrated the wood and has the potential to be cleaned from the wood.</p> <p>While these doors are listed as heritage attributes in the property's designation By-law, they are not considered to be distinctive to the design of this church specifically and are not a priority to be included as part of a commemoration plan.</p> <p>Salvage of the doors should be considered however to allow for the potential reuse/recycling of this material elsewhere.</p>
	Wood	Basement staircases with Tuscan newel posts	Fair	<p>The basement staircases with Tuscan newel posts were in overall fair condition, with no rotting or missing elements noted.</p> <p>The surface of the wooden members showed signs of biological growth (mold), likely a result of the standing water throughout the basement level. At the time of the site visit, this mold had not penetrated the wooden members and has the potential to be cleaned from the wood.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
				<p>While these materials are listed as heritage attributes in the property's designation By-law, they are not considered to be distinctive to the design of this church specifically and are not a priority to be included as part of a commemoration plan.</p> <p>Salvage of the wooden material should be considered; however, to allow for the potential reuse/recycling of this material elsewhere.</p>
	<p>Pressed Tin/Sheet Metal Panels</p>	<p>Ceiling</p>	<p>Poor to Good</p>	<p>The pressed tin/sheet metal ceiling tiles throughout the church were in varying condition. Portions of the ceiling panels showed significant deterioration and corrosion, as a result of water infiltration issues. However, much of the vaulted ceiling showed mild to no deterioration outside of a flaking paint finish.</p> <p>As the ceiling is composed of pressed tin/sheet metal panels there is the potential to remove and salvage viable panels. Ceiling tiles with elevated levels of deterioration are not suitable for salvage.</p> <p>While the pressed tin/sheet metal ceiling is included as a heritage attribute in the property's designation By-law,</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
				<p>they are not considered to be distinctive element in isolation. If appropriate, a portion of the ceiling material could be removed and conserved as part of a commemoration/interpretation plan for the property.</p> <p>If the ceiling panels are not selected to be a part of a future commemoration plan the materials should be salvaged for reuse/recycling elsewhere.</p>
	<p>Pressed Tin/Sheet Metal Panels</p>	<p>Cornice</p>	<p>Fair to Good</p>	<p>The decorative cornice with dentils and egg-and-dart patterning located throughout the nave and upper gallery was observed to be in fair to good condition. Constructed of pressed tin/sheet metal, the cornice showed some deteriorated and flaking paint finishes, but no major corrosion or missing components of the pressed tin/metal were noted.</p> <p>While the pressed tin/sheet metal panels comprising the cornice are included as a heritage attribute in the property's designation By-law, they are not considered to be distinctive element in isolation. If appropriate, a portion of the cornice material could be removed and conserved as part of a commemoration plan.</p>

PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
				If the cornice is not selected to be a part of a future commemoration/interpretation strategy, the cornice materials should be salvaged for reuse/recycling elsewhere.


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Pressed Tin/Sheet Metal</p>	<p>Columns</p>	<p>Fair to Good</p>	<p>The Corinthian columns located throughout the nave and upper gallery were observed to be in fair to good condition.</p> <p>Constructed of pressed tin/sheet metal, the decorative columns showed some deteriorated and flaking paint finishes, but no major corrosion or missing components of the pressed tin/metal were noted.</p> <p>As a defining element of the church's interior ornamentation, the salvage of some or all of the columns should be considered high priority for inclusion as part of a future commemoration plan.</p> <p>If only a selection of the columns is to be stored for future use in a commemoration plan the remaining columns should be salvaged, allowing the material to be reused/recycled elsewhere.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Pressed Tin/Sheet Metal</p>	<p>Arcade</p>	<p>Fair to Good</p>	<p>The curved pressed tin/sheet metal arcade spanning between the nave's Corinthian columns were observed to be in fair to good condition. Constructed of pressed tin/sheet metal, the decorative curved arcade showed some deterioration and flaking paint finishes, but no major corrosion or missing components were noted.</p> <p>While the curved pressed tin/sheet metal parts of the arcade conjoin with the Corinthian columns and are included as a heritage attribute in the property's designation By-law, they are not considered to be distinctive elements in isolation. If appropriate, the arcade materials could be removed and conserved as part of a commemoration plan.</p> <p>If the arcade is not selected to be a part of a future commemoration plan, the arcade materials should be salvaged for reuse/recycling elsewhere.</p>


PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Paint on Pressed Tin/Sheet Metal Panels</p>	<p>Bible verse, cross and roundels painted on the ceiling above the altar</p>	<p>Excellent</p>	<p>The painted bible verse, cross and roundels are painted onto plain pressed tin/sheet metal panels and were observed to be in excellent condition overall. The paint finishes were intact with no deteriorated areas noted.</p> <p>Given that the paintings are completed on pressed tin/sheet metal panels, there is the potential to salvage and reassemble these paintings in a new location.</p> <p>As a defining aspect of the former church's interior that reinforces the building's previous use and is a listed heritage attribute in the property's designation By-law, these panels should be considered a high priority for salvaging and reuse as part of a commemoration plan for the property.</p>


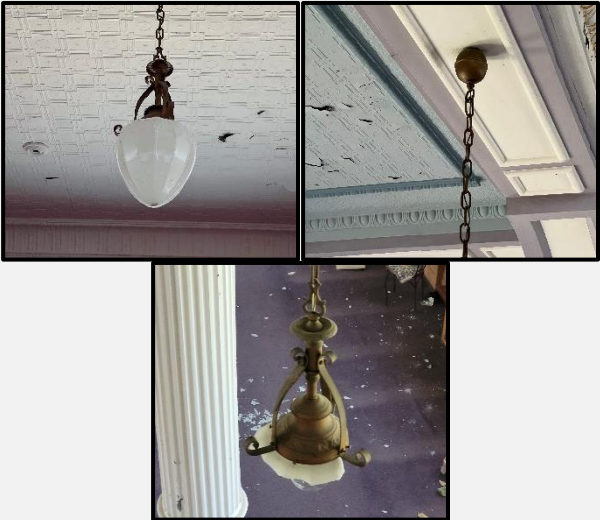
PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Pressed Tin/Sheet Metal</p>	<p>Columns and balustrade at the gallery</p>	<p>Fair to Excellent</p>	<p>The columns supporting the gallery were observed to be in fair condition. Constructed of pressed tin/sheet metal, vertical cracking was observed, potentially associated with a displaced load of the gallery above.</p> <p>The decorative balustrade is also constructed of pressed tin/sheet metal and features decorative bracketing/scrollwork. Both the balustrade and bracketing were observed to be in excellent condition, with intact painted finishes and no noted signs of deterioration.</p> <p>If appropriate, the columns and balustrade including the decorative bracketing materials have the potential to be salvaged and conserved as part of a commemoration plan.</p>

PHOTO	MATERIAL	HERITAGE ATTRIBUTE	CONDITION	COMMENTS
	<p>Glass and Metal of Unknown Type</p>	<p>Light Fixtures</p>	<p>Poor to Good</p>	<p>The pendant light fixtures throughout the interior of the church are recognized as a heritage attribute in the property's designation By-law and were observed to be in varying condition.</p> <p>While a handful of the light fixtures were intact, the majority of the opaque glass on the light fixtures was broken.</p> <p>The functionality of the intact light fixtures was not tested.</p> <p>While these light fixtures are included in the property's designation By-law, they represent a common design motif seen in church's constructed in the early 20th century throughout Ontario. As such, while these light fixtures could be salvaged for a future commemoration plan, it is not considered a high priority for inclusion.</p> <p>Any remaining intact light fixtures should be considered for salvage and recycling/reuse elsewhere.</p>

11.2 Salvage of Heritage Materials

As outlined in Section 10.2.3, the documentation and salvage of building materials is considered good practice and the salvage of viable exterior and interior materials should be undertaken.

The condition assessment in Section 11.1.2 provided further detail on the viability of salvaging or reusing certain building materials. With this in mind, items to be considered high priority for salvage and integration into public spaces or new design/building on the property, public spaces in the local landscape (i.e., local parks) or into a plaque on the property through a commemoration plan include:

- The round arched transom window over the entrance on the façade
- Viable windows, or windows with the least deterioration
- Corinthian columns located throughout the nave and upper gallery
- Painted bible verse, cross and roundels are painted onto plain pressed tin/sheet metal panels
- Belfry
- Pinnacles/spirelet

Items that should be considered for salvage and integration into nearby public spaces or new design/building on the property through a commemoration plan include:

- Foundation masonry units and voussoirs and keystone detailing around openings
- Limestone cross on the church's façade
- Selection of brick masonry units, or a portion of the decorative brick masonry such as the projecting brick voussoirs
- Pressed tin/sheet metal ceiling tiles
- Decorative cornice with dentils and egg-and-dart patterning located throughout the nave and upper gallery
- Curved pressed tin/sheet metal arcade spanning between the nave's Corinthian columns
- Columns and balustrade at the gallery

Items that are deemed worthy of salvage, but are not a priority to be included as part of a commemoration plan, and should be considered for salvage to be reused elsewhere:

- Any materials listed above that are not determined to be part
- Some exterior brick masonry if deterioration and mortar allows
- Pressed tin/sheet metal components of the parapet wall
- Basement beadboard wainscotting and six panel doors
- Basement staircases with Tuscan newel posts
- Light fixtures

As outlined above, a large number of exterior and interior materials were identified as having potential for reuse and/or salvage. While Table 3 evaluates the potential of reusing/salvaging all the heritage attributes identified in the property's By-law, it could be argued that certain materials have more material significance than others. For instance, the windows, columns, painted pressed tin, belfry and Pinnacles/spirelet some pressed tin elements likely have a higher capacity to communicate the past use and architectural history of the building than materials such as the wooden wainscotting and six-panel doors. The local heritage committee should be engaged in determining which materials are a priority for salvage and best communicate the historical significance of the building.

The potential for reusing and/or salvaging materials was determined through ARA's visual inspection, however it is important to note that ARA is unable to provide commentary on the feasibility of safely extracting these materials in a manner that does not pose or contribute further to the structural and safety concerns associated with the building. Adding further complexity to the implementation of a material reuse/salvage approach, there are currently no proposed development plans or landscaping plan for the property. Therefore, the immediate integration of salvaged materials/elements for reuse is limited. In situations where there is no specific planned use for salvaged materials, there is a risk that the materials will be stored in perpetuity or left to further deteriorate to the point that the effort to salvage becomes redundant. Once the specific attributes/materials deemed appropriate for salvage have been determined (in consultation with the heritage committee), the feasibility of their extraction and storage must be explored by a qualified professional.

There are salvage shops in Ontario that specialize in salvaging historical materials from buildings being demolished, however it is not guaranteed that these shops will accept or have the capacity to accept all historical material offered to them. It is worthwhile to communicate with salvage shops immediately to determine if the materials proposed for salvage would be desirable and/or accepted. If there is a desire for potential for acquisition, then the feasibility of removal can be further explored.

11.3 Storage and Display Conditions

The following section is informed by best practices and provides considerations related to the ongoing conservation and potential storage (if deemed necessary) of the salvaged materials.

Salvaged materials should be provided with a protective buffer to limit the risk of physical damage occurring while objects are transported between locations. A temporary protective barrier can take the form of readily available materials such as cardboard (free of adhesive residues and inks prone to running), bubble-wrap, and polyurethane or polystyrene foams. An accurate and clearly written description of the object should be included on a temporary tag.

It is important to document contextual details of each object that may be lost once they are removed from site. For example, the specific placement of the objects before their removal. This information, as well as the storage location, should be recorded and maintained to minimize the risk of dissociation.

If long-term storage is necessary, inert materials such as acid-free or polypropylene boards, unbleached cotton or polyester batting, and polyethylene foams should be used. Items should be stored in a clean, well-organized, secure space. Direct contact with floors and exterior walls should be avoided. Providing a dedicated space on labelled shelving units is a practical and simple way to meet these conditions.

Preferably, objects should be stored indoors where temperature, humidity, light, gaseous and particle pollutants, and other mechanisms of deterioration can be controlled. Principally, limiting sources of moisture by maintaining a low to moderate relative humidity of 30-50% will mitigate multiple agents of material decay. Water is an ideal accelerant for destructive chemical reactions (such as corrosion and acidification) and can also lead to more aggressive expansion and contraction of materials, cracking and spalling during freeze-thaw cycles, damaging biological growth, migration and recrystallization of salts, and staining (Barclay et. al. 2020; Hartin et. al. 2018). Restricting sources of gaseous and particle pollutants can be achieved by adding specific filters to existing HVAC systems, using cleaning products and techniques approved for the specific

material, limiting sources of dust and dirt and, if possible, providing dustcovers for objects. The formation of microclimates with the use of desiccants, oxygen scavengers, and molecular traps can provide precise control over a limited area, such as a drawer or enclosure (Barclay et. al. 2020; Hartin et. al. 2018).

Storage or display indoors also offers more security from vandalism and theft, as well as decreased risk associated with many biological and physical forces endured outdoors. Some of the identified materials suitable for salvage include materials that were situated in an interior setting at 7119 Tecumseh Road. As such, an interior display setting may be the most appropriate way to ensure the ongoing conservation of these materials.

Outdoor storage and display of objects should be considered when indoor storage is not feasible or when site interpretation is best delivered in an outdoor setting. Objects in outdoor settings often require more extensive planning, maintenance, and interventions than indoor settings, as the outdoor environment exposes materials to more factors that can increase the rate of deterioration. Detrimental conditions include:

- Inappropriate levels of moisture in the form of uncontrolled fluctuations in humidity, rain, snow, dew, standing water, and moisture held by the soil and nearby vegetation.
- Seasonal extremes in temperature resulting in the expansion and retraction of materials.
- The UV component of direct sunlight, which provides energy for harmful reactions.
- Atmospheric pollutants in both gaseous and particle forms generate damaging reactions.
- Biological deterioration in the form of microorganisms, flora and fauna trap moisture and dirt, deposit secretions, and cause physical damage.
- Physical damage occurring as a result of adverse weather conditions, proximity to snow and lawn maintenance equipment, and misuse of the object by the public.
- Unsecured spaces contribute to theft and/or vandalism of objects (adapted from Hartin et. al. 2018).

Recognizing that the identified materials suitable for salvage include many elements that were previously clad to, or constructed as, the exterior of the structure at 7119 Tecumseh Road, it is reasonable to consider an outdoor interpretive setting using these materials.

If an outdoor interpretive setting is chosen, there are measures that can help slow the rate of deterioration:

- Consider locations which remain dry and offer some degree of protection from environmental conditions. Strategic placement of items in prominent, well-lit areas can also help deter theft and vandalism.
- Prepare the item by cleaning all surfaces of dust and dirt, and biological accumulations.
- Provide appropriate protective coatings and, if possible, do not remove existing protective layers, including finishes, paints, waxes, varnishes, and patinas.
- Where possible, provide protective structures. Bases, pads, or blocks can be used to raise objects and prevent direct contact with the ground where soil, water, and vegetation can accelerate deterioration. Coverings provide some protection from the elements. Barriers or semi-enclosed spaces can help mitigate inadvertent and intentional damage caused by the public. Signage can also be used to promote respectful interactions with the object.
- A regular maintenance schedule, with well-defined roles and responsibilities, is necessary to monitor, clean, renew protective coatings and, if necessary, strategize further interventions. Creating a checklist or chart will standardize inspections and help ensure nothing is missed.

11.4 Use of Salvaged Materials

There are two main categories of opportunities for the use of salvaged materials. First, their use in interpretive panels and second, incorporation into new development. This section outlines potential uses/designs to be considered and finalized through a commemoration plan. It should be noted that the below description focuses on the potential reuses of the salvaged materials on the property, however, it is also feasible for these reuses and commemoration opportunities to be implemented in other spaces within the Town, including at nearby parks, archives, museums, etc.

11.4.1 New Development and Incorporation of Select Heritage Attributes and Materials

Salvaged materials such as brick masonry unit, limestone masonry units, including voussoirs and detailing and exterior pressed tin elements such as the belfry, pinnacles and spirelet may be incorporated into a new development in a variety of ways.

Each strategy described below will require a separate set of preventive conservation measures unique to the material(s) utilized. The decision of which material(s) to repurpose, and by what method, should take into consideration the factors which are most disadvantageous to their preservation. Furthermore, the future development should have clear objectives for the quantity of material to be preserved, and the longevity of these intensions. For example, if the intention is to preserve some of the structure's bricks in perpetuity for future reference, then a selection of bricks in good condition should be utilized or stored in a manner most beneficial to their preservation. Additional bricks may be utilized as architectural or exterior features which places them at higher risk of deterioration.

At the time of this report no future development plans are in place. Therefore, suggestions for incorporation into any potential future development are outlined below. These suggestions are entirely dependant on the proposed future use of the site and/or future proposed development.

Detail Design – Architectural Style Elements

While no new structures or developments are currently being proposed for the subject property, commemoration of the Our Lady of Annunciation Church is possible in future development designs, should they arise. The architectural value of the church with Richardson Romanesque with French Canadian architectural influence can be expressed by emulating and incorporating characteristics of the Richardson Romanesque style in any future development designs.

Architectural elements representative of the former church at 7119 Tecumseh Road are listed in the property's Statement of Cultural Heritage Value or Interest (see Section 7.1). This presents an opportunity for the property owner to blend historic and contemporary styles into the design, fabrication, and adornment of any proposed new construction in the future.

Landscaping

Utilization of historic materials and/or elements in landscaping features. For example, bricks and stone masonry units may be repurposed as retaining walls and/or dividers for gardens. These may also be formed into a bench, pavilion, trellis, arbour, or similar structures.

Art Installation

Repurposed historic materials such as bricks, stone masonry and exterior pressed tin elements such as the belfry, pinnacles and spirelet could be used to craft an art installation that highlights

key elements of the property's history. This is an opportunity to collaborate with a local artist specializing in the use of architectural and/or industrial materials.

Exhibit Space

A future development could include a dedicated area for the display and preservation of heritage materials. This could take the form of a permanent exhibit space included in the building design (i.e., lobby or amenity space), where salvaged elements are displayed alongside interpretive text. This exhibit space has the potential to display both interior and exterior elements identified in this report.

11.4.2 Commemoration Through Interpretive Panels and Displays

Installation of interpretive signage is a means of conveying the history of 7119 Tecumseh Road or the Our Lady of Annunciation Church in an accessible way to local residents and visitors. Using text and historical images, the history of the property as a former church and focal point in the Stoney Point community, as well as the French-Canadian history of the area, can be expressed to the public. The panels could include the integration of select heritage materials into the design and manufacture of interpretive signage. For example, masonry elements may be restructured as a base or podium within a new building or within the outdoor landscape. The installation of a panel/display is not dependant on a future development plan and could be implemented as a condition of the approval of demolition.

The CHVI identified in this report revealed several key themes related to 7119 Tecumseh Road's cultural heritage significance:

- The property's associations to the early French-Canadian community that developed around the historic community of Stoney Point and Essex County.
- The property's associations to Louis Canon Junior, a 19th century architect as a rare example of the designer's work in Ontario.
- The architectural expression of Richardson Romanesque architectural styling that reflects French-Canadian architectural tradition.

Exploration of these themes through commemoration provides an opportunity to highlight the property's associative and contextual value and provide information on the development of Stoney Point and the communities that formerly defined the area.

Commemorating the Our Lady of Annunciation Church through interpretive signage is an opportunity to talk about the architectural stylings of Richardson Romanesque with French Canadian architectural influence. A future interpretive panel could integrate architectural elements that are representative of the former church at 7119 Tecumseh Road into the physical design of an interpretive panel structure.

Detailed design and fabrication of signage have not been determined to be the selected course of action for commemoration and are outside the scope of the Conservation Strategy, however, should this be pursued, considerations for the design and fabrication of interpretive signage are outlined in Sections 11.7.1–11.7.4.

Materials and Form

There are two standard forms for outdoor panels: low profile and upright. Low profile panels are waist-height, with the panel orientated at a 45-degree angle. These are typically used to direct the viewer's attention to a specific landscape or feature highlighted in the panel (see Figure 1). Upright panels do not direct the viewer's attention to a specific landscape or feature, instead they are typically used to orient the viewer and convey general information (see Figure 2).

There are several factors to consider when choosing fabrication and panel materials, including: budget, compatibility of different materials, structural integrity, and longevity (i.e., the ability to withstand weathering and acts of vandalism).

Aluminum and fiberglass are examples of materials commonly used for outdoor interpretive panels, each with a use expectancy of more than 10 years. Aluminum and aluminum composites achieve a high-level of text and graphic clarity through direct printing, are versatile and able to adapt to project-specific forms, have a high resistance to water and weathering, and require little ongoing maintenance. Fiberglass panels with embedded ink maintain a good level of text and graphic clarity, have a hard, seal-free surface that is resistant to water and weathering, and require little ongoing maintenance (NPS 2009).

Specific fonts, formats, colours, and concepts that align with the branding of the new development should be considered when designing the panels and/or considering reuse of heritage attributes. This ensures continuity between the aesthetic of commemorative elements and the proposed landscape and buildings.

Accessibility and Placement

As part of the planning process, up to date Accessibility for Ontarians with Disabilities Act (AODA) standards should be reviewed. Considerations pertaining to the text, format, and layout of panels include:

- Keeping the panel flow and layout simple by breaking text into smaller sections and/or sidebars, and avoiding cluttering the panel with too many graphics;
- Using appropriate language and tone to ensure content is accessible to a wide audience with a range of learning styles, levels, and abilities; and
- Using appropriate typography (font, size, style, leading), with a clear contrast between text and background.
- Incorporation of a digital element provides an opportunity to connect viewers via link or QR code to information in alternative formats and/or more detailed information.

Canada's Museum of Science and Innovation, Ingenium, has established a set of guidelines for creating accessible interpretive panel text and graphics that may be useful to consult when finalizing the text and design of the interpretive panels. A link to *Ingenium Accessibility Standards for Exhibitions* can be found in the bibliography.



Figure 1: Example of a Low-Profile Panel
(NPS 2009:11)



Figure 2: Example of an Upright Panel
(NPS 2009:19)

Interpretive elements should be placed in an easily accessible, visible area that will not disrupt the flow of foot traffic or present a hazard to visitors. The topography of the area will affect both accessibility and preservation, as an area with poor drainage and/or standing water will lead to more rapid deterioration and discourage viewers from approaching. If the panel location is obscured by vegetation, or confined to a secluded space, vandalism may be encouraged. Glare from the sun, shadows, and viewing distance should also be considered when determining the final position and orientation.

Material Preservation

An examination of salvaged materials chosen for incorporation will need to be conducted to determine an appropriate method of preparation and fabrication before use. The use of heritage materials as a part of a commemorative or interpretive panel should also include a site-specific preservation strategy that will mitigate the effects of deteriorating agents and promote preservation. Detailed preservation strategies for materials should be incorporated into the final design and fabrication plan and can include consultation with a conservator on the preparation of materials and fabrication methodology. This strategy would include a policy for regular inspection, appropriate cleaning, and maintenance of salvaged materials and interpretive elements to increase their longevity.

Visual Aids and Copyright

Proper permissions to reproduce visual content must be obtained prior to panel design and fabrication. Use-right forms, documents, and receipts should be kept and maintained through the use life of the interpretive panels. High resolution copies of selected visual aids are required. Specific technical standards will be dependent on the design and size of the panel.

It is recommended that local heritage groups and stakeholders be consulted with respect to the form, design, and location of the preferred commemorative approach(es) outline in the Commemoration Strategy. Once input has been received a Commemoration Plan which reflects the desired approach is recommended.

11.5 Implementation of the Conservation Strategy

The *Standards and Guidelines* call for the conservation of heritage attributes as a primary conservation approach, however, given the subject property's structural and health and safety concerns and the current Property Standard By-law issuance, the feasibility of retrieving materials for salvage and/or symbolic conservation must be considered. This section discusses the considerations that should be assessed by the property owner and local heritage committee when implementing the salvage/symbolic conservation plan as recommended in this report.

Given the limitations noted above, the following recommendations should be considered as part of the implementation plan for the Conservation Strategy and development of the Commemoration Plan.

1. The heritage committee should provide comment on which heritage attributes should be explored as part of the commemoration plan and which are top priorities for salvage in general. The full list of heritage attributes is outlined in Table 3 and suggested priority level summarized in Section 11.2. The heritage committee should establish clear priority levels about which attributes are felt to be the most significant in the event that structural or health and safety concerns become critical. The priority list should consider the feasibility of removal and the potential for a viable reuse. For example, the bell, any intact stained glass windows, light fixtures etc., have an increased likelihood of being removed without exacerbating safety concerns. Similarly, the interior pressed tin may present challenges to find a suitable place for reuse.
2. The heritage committee should determine if a commemorative plaque should be employed as a means of symbolic conservation immediately. If so, salvage materials to be used should be clearly communicated prior to and demolition efforts. ARA would recommend that at minimum a selection of brick and stone masonry units and exterior pressed tin such

- as the pinnacles and spirelet be salvaged and integrated into the design of the commemorative plaque.
3. The heritage committee should provide comment on which items (if any) might be able to be integrated into the local landscape as a form of symbolic conservation. This may include art installations in the surrounding public parks etc.
 4. The heritage committee should provide comment on which items (if any) should be stored long-term for potential reuse/integration into new development on the property, recognizing the risk that the materials may deteriorate or ultimately not be feasibly used at the time that a development plan is put forth.
 5. Based on feedback from the heritage committee, communication with salvage companies regarding the interest of receiving materials should be explored.
 - a. The Architectural Conservancy of Ontario (ACO) North Waterloo Region maintains a Directory of Heritage Practitioners located in Ontario that claim to have experience with heritage and/or older properties. The section dedicated to “Moving, Dismantling and Salvage” could be referred to for salvage contacts, however, it is recommended that references and/or previous work be assessed before engaging with any of the listed businesses. The ACO directory is available online at: [Moving, Dismantling & Salvage - ACO North Waterloo Region \(aconwr.ca\)](http://Moving, Dismantling & Salvage - ACO North Waterloo Region (aconwr.ca)).
 - b. Should no salvage companies be interested in the proposed material for salvage, investigation into general reuse stores (i.e., habitat for humanity) should be explored to determine if they are willing to receive the materials.
 6. Based on the comments from the heritage committee and the discussion with salvage companies, the items which are proposed for salvage, should be reviewed by a qualified professional to determine if their extraction is feasible.
 7. Based the decisions made in items 1–6 above, the Conservation Plan should be developed. It should include at a minimum:
 - a. A description of the preferred commemoration approach(es);
 - b. Specific details about which materials should be salvaged, the quantity of materials, storage methods, material reuse consideration, and specific commemoration details include size, style, location, wording, of any proposed plaques.
 8. The Conservation Plan should be approved prior to the removal of the building.

12.0 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS

The O. Reg 9/06 evaluation and its current status as a Part IV designation property under the OHA confirms that 7119 Tecumseh Road possesses cultural heritage value or interest.

Negative impacts to the subject property which will result from the proposed site alteration include:

- Impact 1 – The proposed site alteration includes the full removal of the structure at 7119 Tecumseh Road and all its associated physical, historical and contextual heritage attributes.
- Impact 2 – The proposed site alteration involves the removal of the red brick former Our Lady of Annunciation Church which is described in the designation By-law as the dominant historical building in Stoney Point.
- Impact 3 – The proposed site alteration will remove the property's historical link the adjacent former clerical residence.

A variety of alternative design options were considered including retention of the building *in situ*. Based on buildings current structural condition, health and safety concerns, the property owners' preferred option is the complete removal of the building with symbolic conservation. Mitigation measures have been included to reduce, but not eliminate, the negative impact which result from the removal of the subject building.

If the demolition of the building is approved, the following conservation/mitigation measures are recommended:

- A Cultural Heritage Resource Documentation (CHRD) report should be prepared. Photographic and written documentation of 7119 Tecumseh Road has been completed as part of this report. It should be confirmed that the existing documentation has been completed to the satisfaction of Municipal staff.
- The heritage committee should provide comment on which heritage attributes should be explored as part of the commemoration plan and which are top priorities for salvage in general. The full list of heritage attributes is outlined in Table 3 and suggested priority level summarized in Section 11.2. The heritage committee should establish clear priority levels about which attributes are felt to be the most significant in the event that structural or health and safety concerns become critical. The priority list should consider the feasibility of removal and the potential for a viable reuse. For example, the bell, any intact stain glass windows, light fixtures etc., have an increased likelihood of being removed without exacerbating safety concerns. Similarly, the interior pressed tin may present challenges to find a suitable place for reuse.
- The heritage committee should determine if a commemorative plaque should be employed as a means of symbolic conservation immediately. If so, salvage materials to be used should be clearly communicated prior to and demolition efforts. ARA would recommend that at minimum a selection of brick and stone masonry units and exterior pressed tin such as the pinnacles and spirelet be salvaged and integrated into the design of the commemorative plaque.
- The heritage committee should provide comment on which items (if any) might be able to be integrated into the local landscape as a form of symbolic conservation. This may include art installations in the surrounding public parks etc.

- The heritage committee should provide comment on which items (if any) should be stored long-term for potential reuse/integration into new development on the property, recognizing the risk that the materials may deteriorate or ultimately not be feasibly used at the time that a development plan is put forth.
- Based on feedback from the heritage committee, communication with salvage companies regarding the interest of receiving materials should be explored.
 - a. The Architectural Conservancy of Ontario (ACO) North Waterloo Region maintains a Directory of Heritage Practitioners located in Ontario that claim to have experience with heritage and/or older properties. The section dedicated to “Moving, Dismantling and Salvage” could be referred to for salvage contacts, however, it is recommended that references and/or previous work be assessed before engaging with any of the listed businesses. The ACO directory is available online at: Moving, Dismantling & Salvage - ACO North Waterloo Region (aconwr.ca).
 - b. Should no salvage companies be interested in the proposed material for salvage, investigation into general reuse stores (i.e., habitat for humanity) should be explored to determine if they are willing to receive the materials.
- Based on the comments from the heritage committee and the discussion with salvage companies, the items which are proposed for salvage, should be reviewed by a qualified professional to determine if their extraction is feasible.
- Based the decisions made in items 1–6 above, the Conservation Plan should be developed. It should include at a minimum:
 - a. A description of the preferred commemoration approach(es);
 - b. Specific details about which materials should be salvaged, the quantity of materials, storage methods, material reuse consideration, and specific commemoration details include size, style, location, wording, of any proposed plaques.
- The Conservation Plan should be approved prior to the removal of the building.
- If the removal of the building is approved, the building no longer warrants designation under Part IV of the OHA and the By-law should be removed.

13.0 BIBLIOGRAPHY AND SOURCES

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Appendix A: Property Location Images

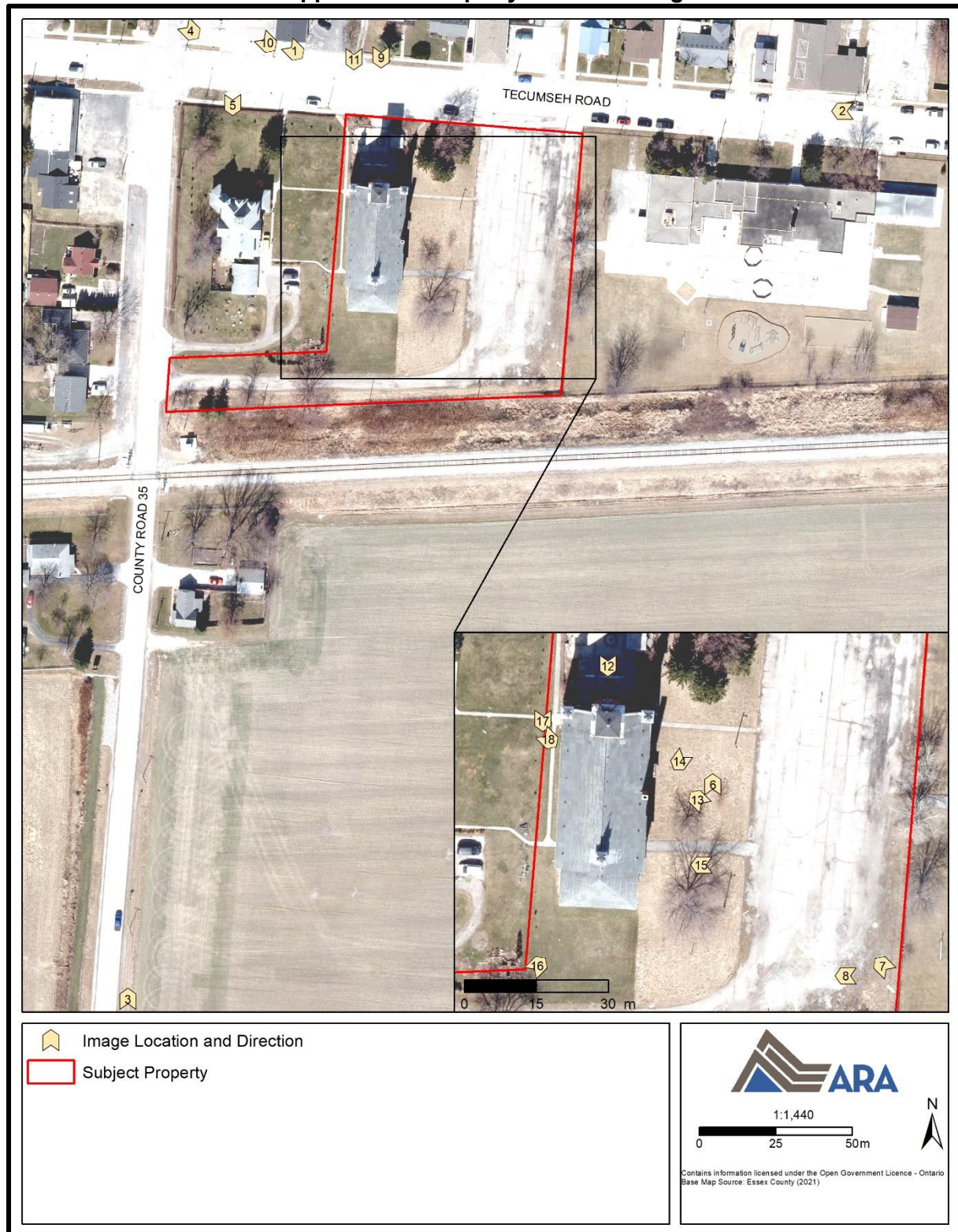




Image 1: Context – 7119 Tecumseh Road
(Photo taken July 22, 2022; Facing Southeast)



Image 2: Context – Subject Property on Tecumseh Road
(Photo taken July 22, 2022; Facing West)



Image 3: Context – View of Subject Property From Combers Sideroad
(Photo taken July 22, 2022; Facing North)



Image 4: Context – Church and Former Adjacent Rectory
(Photo taken July 22, 2022; Facing Southeast)



Image 5: Context – Adjacent Property
(Photo taken July 22, 2022; Facing South)



Image 6: Landscape – Mature Trees
(Photo taken July 22, 2022; Facing North)



Image 7: Landscape – Parking Lot
(Photo taken July 22, 2022; Facing Northwest)



Image 8: Landscape – Rear Laneway
(Photo taken July 22, 2022; Facing West)



Image 9: 7119 Tecumseh Road Exterior – Façade
(Photo taken June 22, 2022; Facing South)



Image 10: 7119 Tecumseh Road Exterior – Pressed Tin Belfry, Parapet Walls and Pinnacles
(Photo taken June 22, 2022; Facing Southeast)



Image 11: 7119 Tecumseh Road Exterior – Bell Partially Visible
(Photo taken July 22, 2022; Facing Southwest)



Image 12: 7119 Tecumseh Road Exterior – Façade Entrances
(Photo taken July 22, 2022; Facing South)



Image 13: 7119 Tecumseh Road Exterior – Northeast Corner
(Photo taken July 22, 2022; Facing Northwest)



Image 14: 7119 Tecumseh Road Exterior – East Elevation
(Photo taken July 22, 2022; Facing Southwest)



Image 15: 7119 Tecumseh Road Exterior – East Elevation
(Photo taken July 22, 2022; Facing West)



Image 16: 7119 Tecumseh Road Exterior – South (Rear) Elevation
(Photo taken July 22, 2022; Facing Northeast)



Image 17: 7119 Tecumseh Road Exterior – West Elevation
(Photo taken July 22, 2022; Facing South)

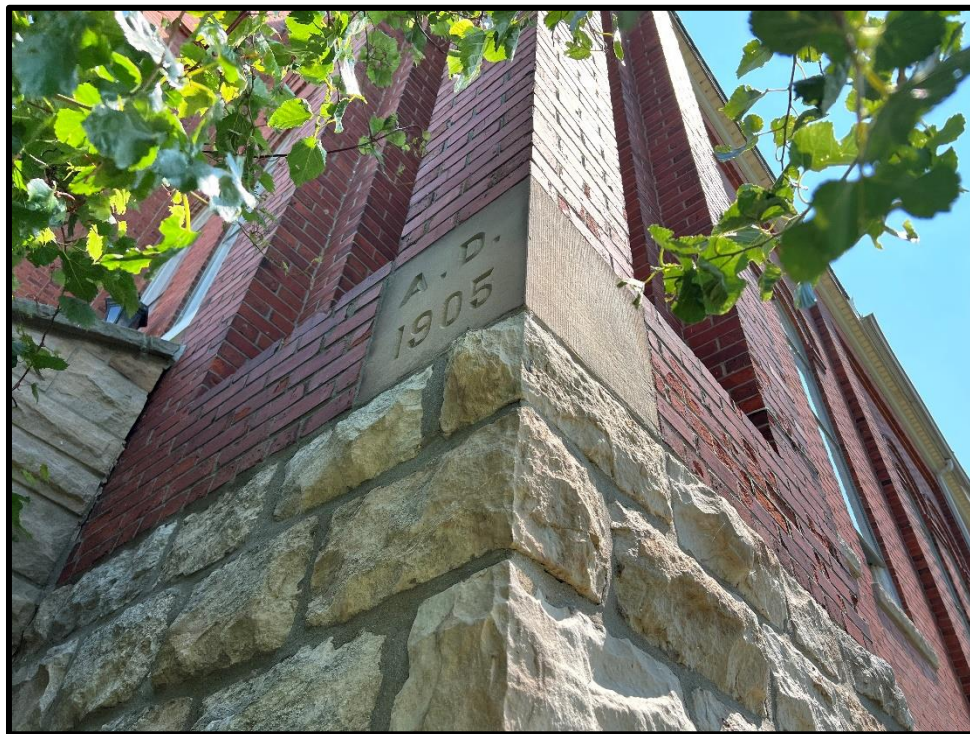


Image 18: 7119 Tecumseh Road Exterior – Datestone
(Photo taken July 22, 2022; Facing Southeast)



Image 19: 7119 Tecumseh Road Interior – Façade Entrance
(Photo taken July 22, 2022)

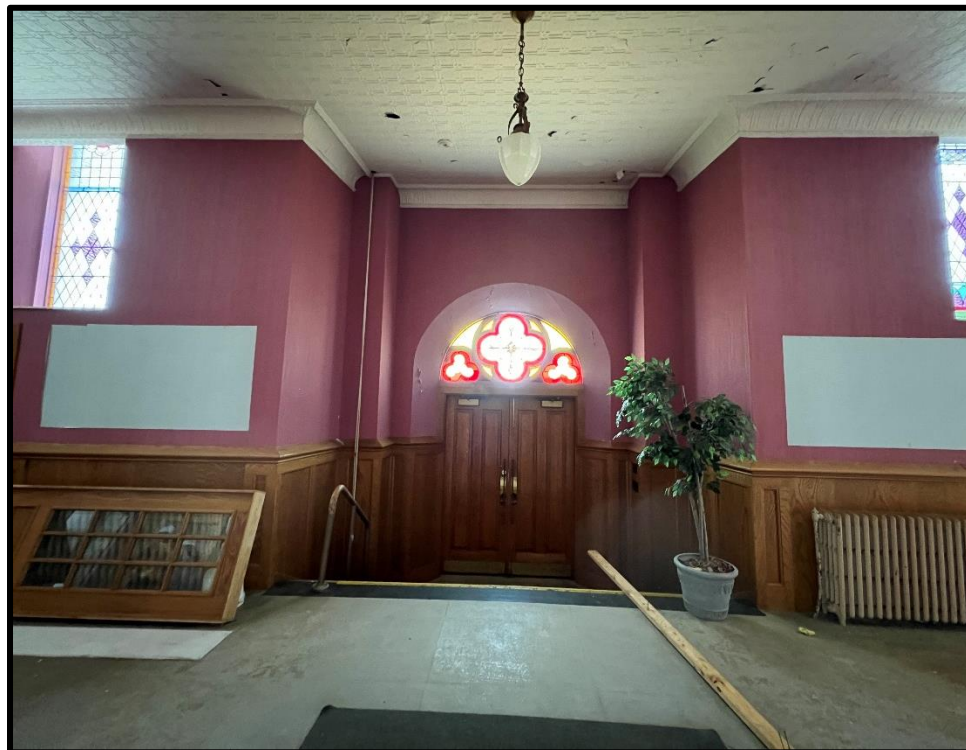


Image 20: 7119 Tecumseh Road Interior – Façade Entrance and Narthex
(Photo taken July 22, 2022)



Image 21: 7119 Tecumseh Road Interior – Narthex
(Photo taken July 22, 2022)



Image 22: 7119 Tecumseh Road Interior – Nave
(Photo taken July 22, 2022)

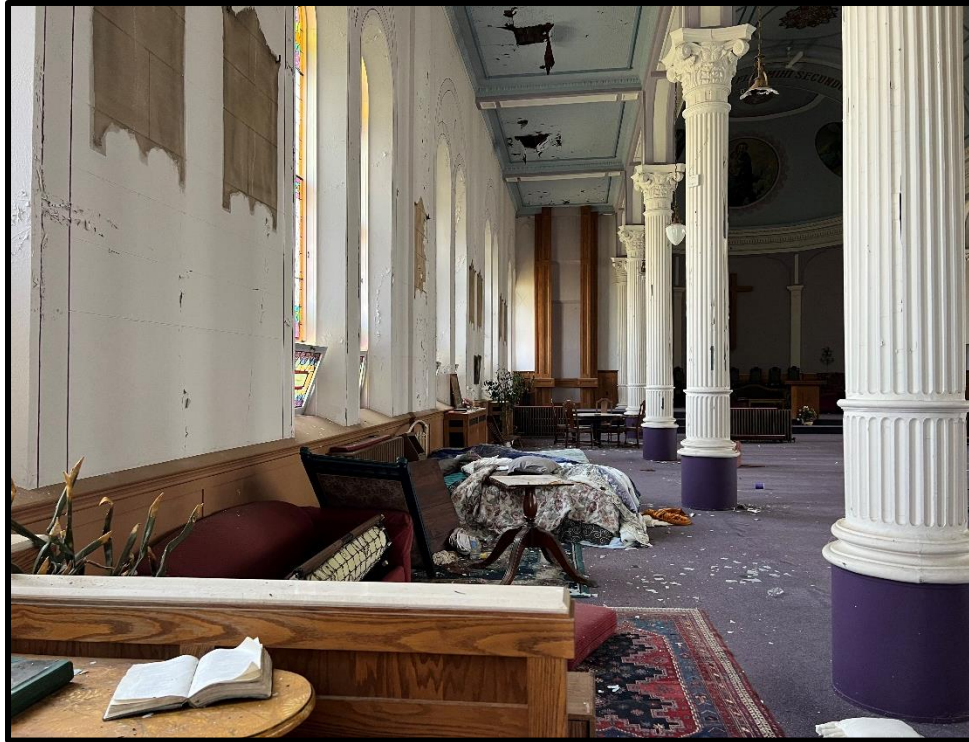


Image 23: 7119 Tecumseh Road Interior – East Aisle
(Photo taken July 22, 2022)

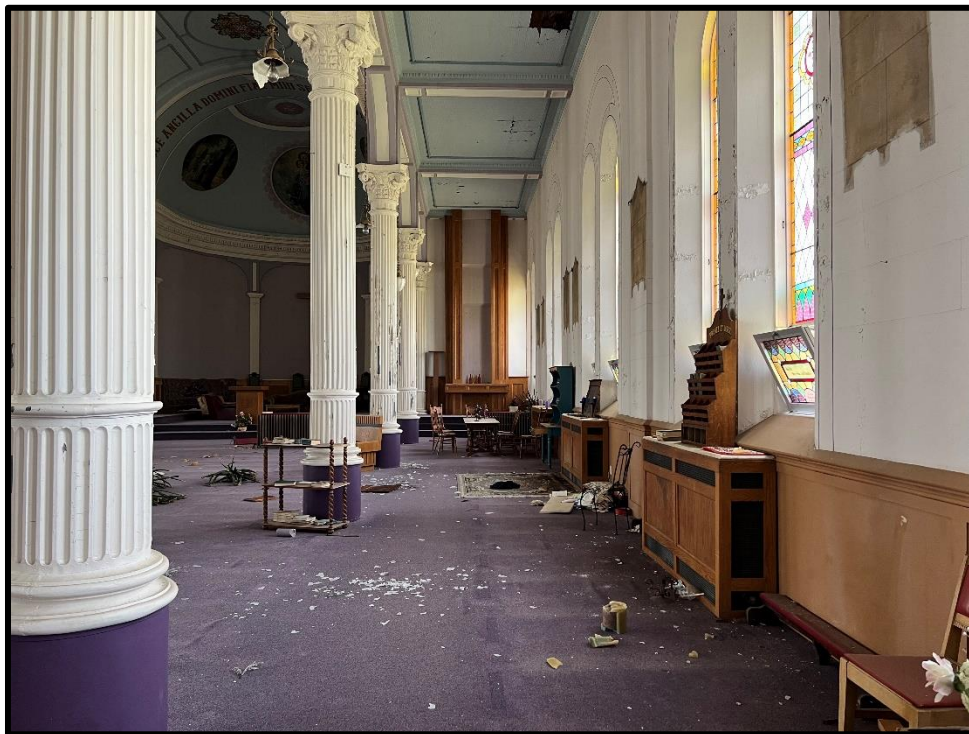


Image 24: 7119 Tecumseh Road Interior – West Aisle
(Photo taken July 22, 2022)



Image 25: 7119 Tecumseh Road Interior – Apse
(Photo taken July 22, 2022)



Image 26: 7119 Tecumseh Road Interior – Painted Tin Ceiling
(Photo taken July 22, 2022)



Image 27: 7119 Tecumseh Road Interior Detail – Painted Tin Ceiling
(Photo taken July 22, 2022)



Image 28: 7119 Tecumseh Road Interior Detail – Pressed Tin Ceiling
(Photo taken July 22, 2022)



Image 29: 7119 Tecumseh Road Interior Detail – Pressed Tin Dentils and Egg and Dart Detailing
(Photo taken July 22, 2022)

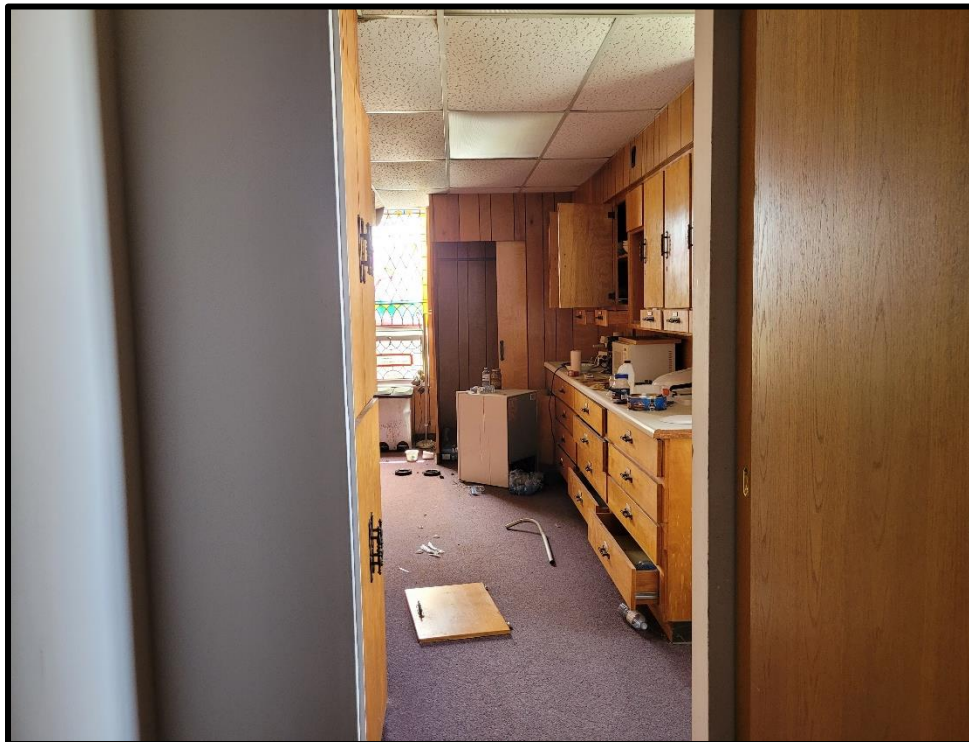


Image 30: 7119 Tecumseh Road Interior – Ambulatory
(Photo taken July 22, 2022)

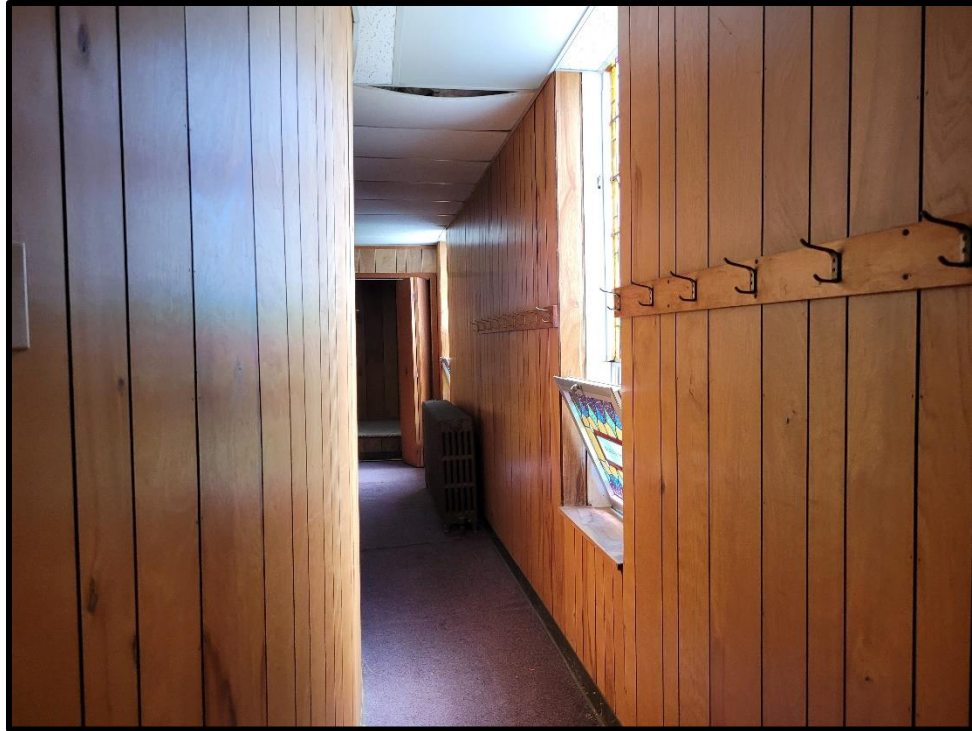


Image 31: 7119 Tecumseh Road Interior – Ambulatory
(Photo taken July 22, 2022)



Image 32: 7119 Tecumseh Road Interior – Ambulatory
(Photo taken July 22, 2022)



Image 33: 7119 Tecumseh Road Interior – Rear Balcony Above Narthex
(Photo taken July 22, 2022)



Image 34: 7119 Tecumseh Road Interior Detail – Balcony Bracketing
(Photo taken July 22, 2022)



Image 35: 7119 Tecumseh Road Interior Detail – Pressed Tin Bracketing Under Balcony
(Photo taken July 22, 2022)

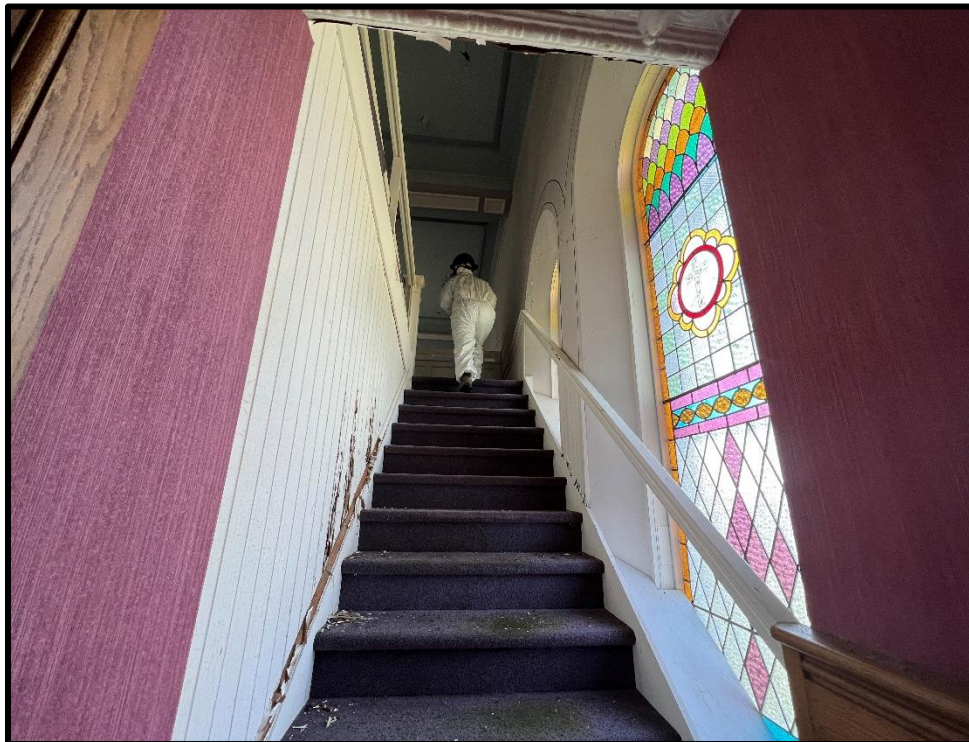


Image 36: 7119 Tecumseh Road Interior – West Stairs To Balcony
(Photo taken July 22, 2022)



Image 37: 7119 Tecumseh Road Interior – East Stairs to Balcony
(Photo taken July 22, 2022)



Image 38: 7119 Tecumseh Road Interior – Pressed Tin Corinthian Column
(Photo taken July 22, 2022)



Image 39: 7119 Tecumseh Road Interior Detail – Former Gold Paint Finish on Columns
(Photo taken July 22, 2022)



Image 40: 7119 Tecumseh Road Interior – Balcony
(Photo taken July 22, 2022)



Image 41: 7119 Tecumseh Road Interior – Balcony
(Photo taken July 22, 2022)



Image 42: 7119 Tecumseh Road Interior – Leakage Through Tin Roof in Balcony
(Photo taken July 22, 2022)



Image 43: 7119 Tecumseh Road Interior – Stairs to Basement
(Photo taken July 22, 2022)



Image 44: 7119 Tecumseh Road Interior Detail – Beadboard Panelling in Basement Stairwell
(Photo taken July 22, 2022)



Image 45: 7119 Tecumseh Road Interior – Basement Hall
(Photo taken July 22, 2022)



Image 46: 7119 Tecumseh Road Interior – Basement Hall
(Photo taken July 22, 2022)



Image 47: 7119 Tecumseh Road Interior – Basement
(Photo taken July 22, 2022)



Image 48: 7119 Tecumseh Road Interior – Basement Columns
(Photo taken July 22, 2022)



Image 49: 7119 Tecumseh Road Interior Detail – Beadboard Ceiling
(Photo taken July 22, 2022)



Image 50: 7119 Tecumseh Road Interior – Basement Mechanical Room
(Photo taken July 22, 2022)



Image 51: 7119 Tecumseh Road Interior – Basement Kitchen
(Photo taken July 22, 2022)



Image 52: 7119 Tecumseh Road Interior – Basement Kitchen
(Photo taken July 22, 2022)



Image 53: 7119 Tecumseh Road Interior – Basement Kitchen
(Photo taken July 22, 2022)



Image 54: 7119 Tecumseh Road Interior – Representative Photo of Basement Stained Glass Design
(Photo taken July 22, 2022)



Image 55: 7119 Tecumseh Road Interior – Representative Photo of Nave Stained Glass Design
(Photo taken July 22, 2022)

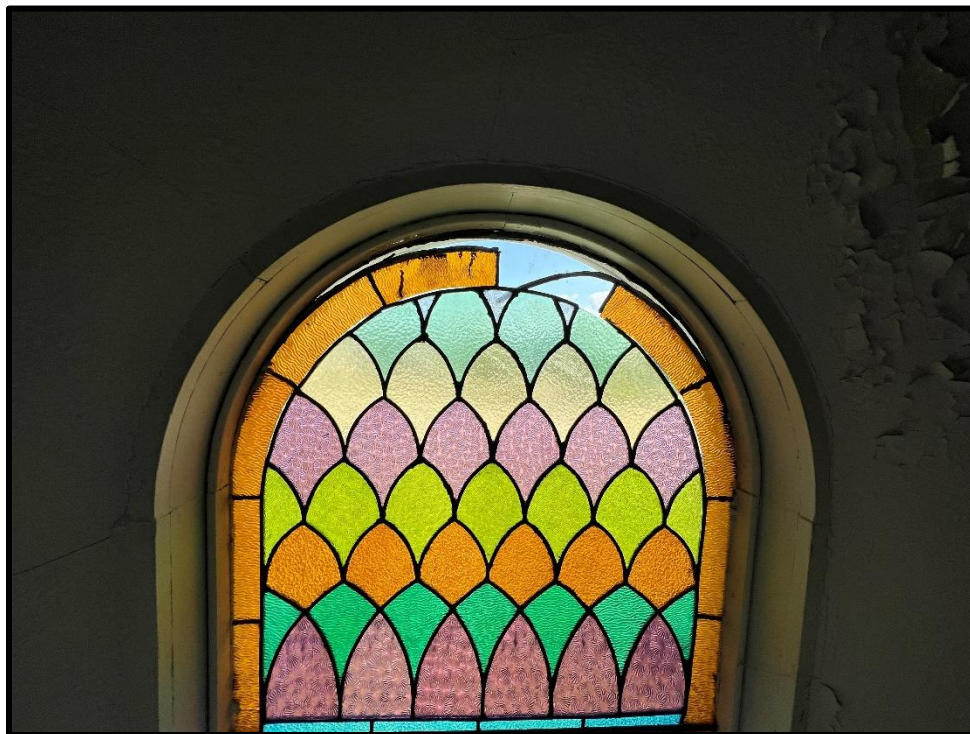


Image 56: 7119 Tecumseh Road Interior – Broken and Missing Components on Stained Glass Windows
(Photo taken July 22, 2022)



Image 57: 7119 Tecumseh Road Interior – Bowed and Warping Stained Glass Windows
(Photo taken July 22, 2022)

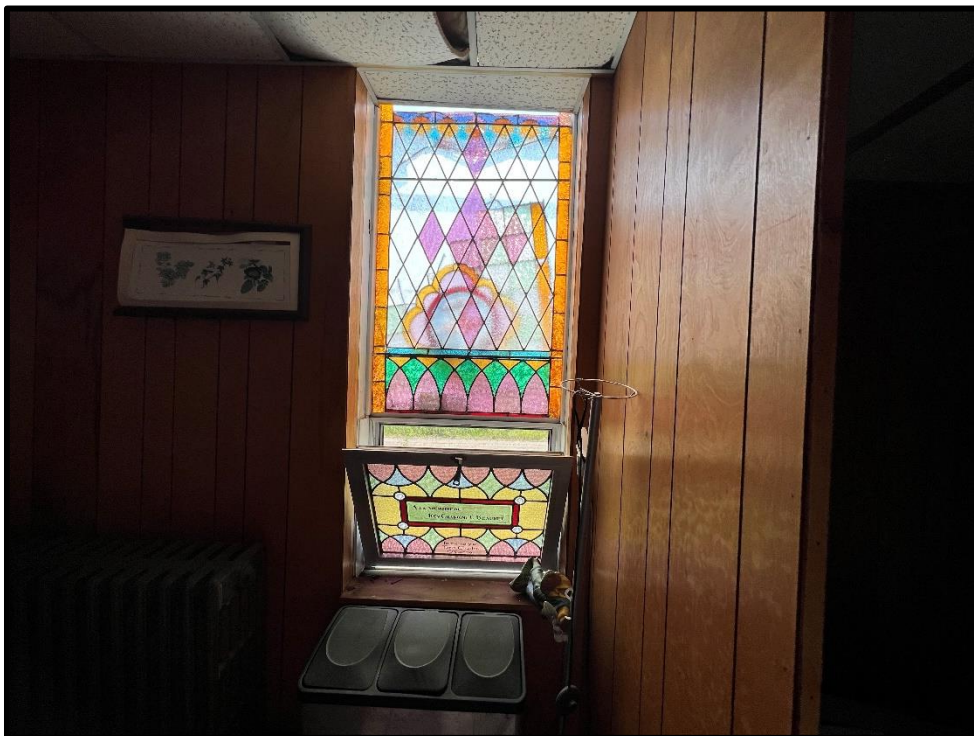


Image 58: 7119 Tecumseh Road Interior – Broken and Collapsed Stained Glass Window
(Photo taken July 22, 2022)

Appendix B: Structural Assessment

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On N8X 4K9
Telephone: 519-566-2060

Date: January 11, 2020,

Project : St Peters Catholic Church , Stoney Point, On

Re: Structural Report & Site Investigation.

Our office has been retained by Mr :Kamal Lachine to prepare a structural report of the actual conditions of the Church. Therefor a Site visitation & investigation was carried out to make an accurate assessment of the Church Structural Conditions.

Based on a Visual Inspection only, the findings are as follow:

- The entrance of the church including the concrete stairs are in a very poor condition. Extensive work is required to repair the existing concrete damaged by the weather & neglecting maintenance.
- From Outside the building, many bricks, debris & roof materials fell on the perimeter of the Church. Strict Caution are to be observed when approaching these premises due to the imminent danger caused by the materials fallen from the roof.
- The Inside of the building is not at all in better condition than the Outside. After carefully investigating the conditions of the walls, we deduce the followings:
- The seepage of the water from the roof into the walls is obvious due to the damage of interior façade of the supporting structural walls (Gypsum board & Painting).
- Wood Elements which formed the structure of the walls are in some places deteriorated.
- Many spots on the walls are stained and molds are formed in my opinion.
- The Ceiling of the structure is crumbling and is a very potential hazard on the safety of the public. Also caution must be observed when entering the premises.
- From the whole we deduce this statement:
- The building (Church) is not structurally safe & sound. It is a danger of the public safety & wellbeing. It should be demolished in my professional opinion.

This report was prepared without prejudice & according to my visual observation only. Hereby, I certify that I am licensed professional Engineer in Ontario, and this report was done according to the best of my ability.

Signature of Engineer

George Mikhael



Figure 3: 2020 Structural Report on 7119 Tecumseh Road
(Mikhael 2002)

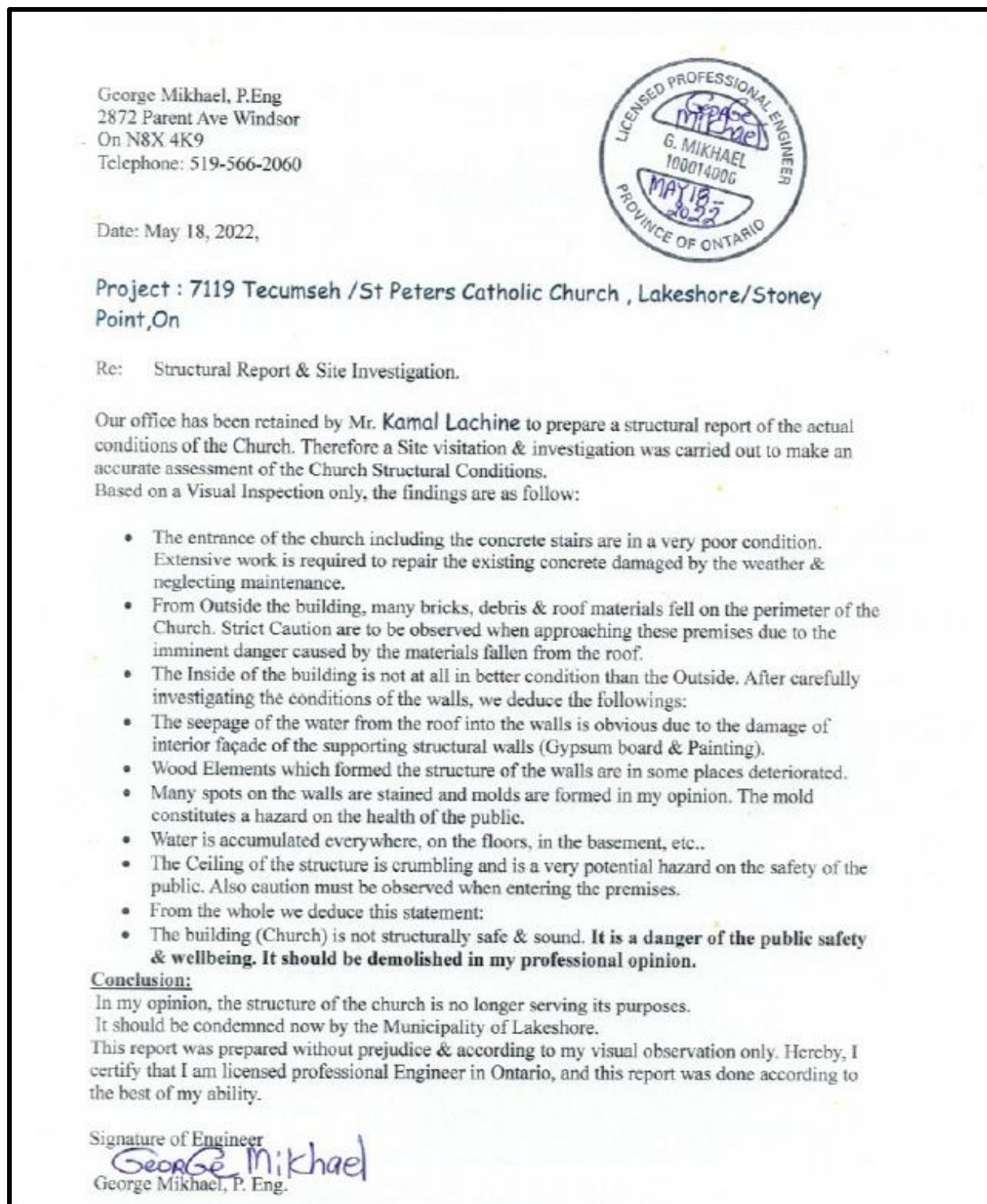


Figure 4: 2022 Structural Report on Tecumseh Road
(Mikhael 2002)

Appendix C: Key Team Member Two-Page Curriculum Vitae

Amy Barnes, M.A., CAHP
Heritage Project Manager

ARCHAEOLOGICAL RESEARCH ASSOCIATES LTD.

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Biography

Amy Barnes, a Project Manager with the Heritage Team, has over ten years of experience evaluating cultural heritage resources and leading community engagement. Amy has extensive experience working with provincial and municipal legislation and guidelines, including the Ontario Heritage Act, Official Plans, the Standards and Guidelines for the Conservation of Historic Places, and the Ontario Heritage Toolkit. Ms. Barnes has completed over fifty heritage related projects including 150+ cultural assessments and has been qualified as an expert witness at the Ontario Superior Court of Justice. Amy has worked in the public and private sector where her duties included project management, public consultation, facilitator, research, database and records management, and report author. Amy has worked with the Town of Oakville, City of Cambridge, City of Kitchener, Niagara-on-the-Lake, City of London, and the City of Kingston on projects which range in size, scale and complexity. Amy Barnes holds an M.A. in Heritage Conservation from the School of Canadian Studies at Carleton University in Ottawa, Ontario. Amy has successfully completed the International Association of Public Participation (IAP2) Foundations in Public Participation, the IAP2 Planning and Techniques for Effective Public Participation, and Indigenous Awareness Training through Indigenous Awareness Canada. Amy is a professional member of the Canadian Association of Heritage Professionals (CAHP) and formerly served as the Vice-Chair of the Cambridge Municipal Heritage Advisory Committee.

Education

- 2009 MA in Heritage Conservation, School of Canadian Studies, Carleton University, Ottawa, Ontario.
- 2006 Honours BA, Carleton University, Ottawa, Ontario
Canadian Studies (Major) and Psychology (Minor).

Professional Memberships and Accreditations

- Current Professional Member, Canadian Association of Heritage Professionals (CAHP)
Member, International Network for Traditional Building, Architecture & Urbanism, Guelph Chapter.

Work Experience

- Current **Heritage Project Manager, Archaeological Research Associates Ltd.**
Coordinates the completion of designation By-laws, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations.
- 2020 **Principal Heritage Consultant, Amy Barnes Consulting.**
- 2012–2015 Coordinated the completion of various contracts associated with built heritage, cultural heritage landscapes, including Heritage Impact Assessments, Cultural Heritage Evaluation Reports, Designation Reports and professional consultation.
- 2019–2020 **Manager of Operations- Outreach and Engagement, Yorklands Green Hub.**
Coordinated the development of a feasibility study and strategic planning initiatives for the anticipated purchase of a Provincial Property of Provincial Heritage

- Significance. Coordination of workshops and community events, external outreach and communications and implementing strategic planning initiatives. Liaison with Infrastructure Ontario, Ministry of Heritage, Sport, Tourism and Cultural Industries, non-profits, charities, school boards and community members.
- 2015–2019 **Project Manager and Senior Cultural Heritage Specialist – Letourneau Heritage Consulting Inc.**
Coordinated and authored various heritage related contracts. Duties included historic research, heritage impact assessments, cultural heritage assessments and evaluations, and public engagement activities. Served as the firm’s Public Engagement Specialist.
- 2011–2012 **Creative Content Developer, Virtual Museums Canada.**
Worked as part of an interdisciplinary team to help create an online virtual exhibit for Virtual Museums Canada. Responsible for historical research, record management, creative design, narrative and content development and internal coordination for the Archives and Research Team.
- 2010 **Junior Heritage Planner, Municipality of North Grenville.**
Responsible for historic research, public consultation and engagement and community development for heritage related projects. Worked with local heritage committees, Council and planning staff in accordance with the Ontario Heritage Act, Official Plans and other guiding policies.
- 2009 **Heritage Planner Intern, City of Kingston.**
Aided in heritage related projects and worked closely with heritage committees, Council, and planning staff.

Selected Professional Development

- 2020 Indigenous Awareness Training and Certification, Indigenous Awareness Canada.
– Indigenous Awareness Certification
– Indigenous Peoples and Cultures
– Indigenous Communication & Consultation
– Indigenous Employment Outreach, Recruit, and Retain
- 2019 Enviroseries “Creating a Heritage Landmark Park For Guelph at The Former Ontario Reformatory”. Yorklands Green Hub.
- 2017 International Association of Public Participation Certification
- Foundations in Public Participation
- Planning and Techniques for Effective Public Participation.

Publications

- 2013 “Landmark Series.” Cambridge Times. Selected Issues.
“Alice King Sculthorpe.” Acorn Magazine, 2013.

Selected Presentations

- 2020 “Heritage Planning”, University of Guelph Speaker Series.
2019 “Understanding Municipal Heritage Planning”, City of Cambridge Heritage Day.
2018 “Heritage Planning in Ontario”, Willowbank School of Restorative Arts, Queenston.
2016 “Jane’s Walk- Preston Heritage”, Cambridge Ontario.
2016 “Jane’s Walk Promotion”, Rogers TV, Kitchener, Ontario.

Aly Bousfield Bastedo, B.A., Dip. Heritage Conservation
Cultural Heritage Technician and Conservation Specialist
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Biography

Aly Bousfield-Bastedo, ARA's Heritage Technical Writer and researcher has four years of experience in evaluating cultural heritage resources, conducting historical research and providing conservation recommendations on a variety of projects. She holds an Honours BA in Sociology from the University of Guelph as well as a post-graduate certificate in Urban Design from Simon Fraser University. Building on these experiences, Aly received a graduate Diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Aly has gained substantial experience in provincial and municipal legislation and guidelines, including the *Ontario Heritage Act*, *Official Plans*, the *Standards and Guidelines for the Conservation of Historic Places*, and the *Ontario Heritage Toolkit*. Aly has gained considerable experience in evaluating potential impacts and recommending mitigation strategies for a variety of resources such as farmsteads, bridges, houses, churches, cultural heritage landscapes and heritage districts in urban and rural areas. Aly's breadth of work has demonstrated her ability in conducting consultations with heritage stakeholders including interviews and surveys.

Education

- 2017–2020 Post-Graduate Diploma in Heritage Conservation, Willowbank School of Restoration Arts. Queenston, ON
- 2016–2017 Post-Graduate Certificate in Urban Design, Simon Fraser University, Vancouver, BC
- 2009–2013 Honours BA, University of Guelph, Guelph, ON
Sociology

Select Work Experience

- Current **Technical Writer and Researcher, Archaeological Research Associates Ltd.**
Produce deliverables for ARA's heritage team, including historic research, heritage assessment and evaluation for designation By-laws, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations.
- 2021 **Cultural Consultant, Ministry of Heritage, Sport, Tourism and Culture**
Provided liaison and advisory services to municipalities and stakeholders in the heritage sector on cultural heritage legislation in Ontario.
- 2020 **Heritage Planning Consultant, Megan Hobson & Associates**
Provided heritage consulting services, including site investigation and documentation. Provided cultural heritage value assessment and evaluations.
- 2019–2020 **Cultural Heritage Planning Intern, ERA Architects**
Coordinated and authored various heritage related contracts. Duties included historic research, heritage impact assessments, cultural heritage assessments and evaluations.
- 2016–2017 **Heritage Vancouver, Programs and Communications**
Conducted research and analysis of heritage properties and neighbourhoods in Vancouver. Assisted in the creation of a cultural heritage landscape assessment of Vancouver's Chinatown neighbourhood through historical research and community engagement.

Select Professional Development

- 2021 International Network for Traditional Building and Urbanism (INTBAU) membership
- 2021 “Drafting Statements of Significance.” Webinar presented by ARA’s K. Jonas Galvin for ACO’s job shadow students.
- 2021 “Architectural Styles.” Webinar presented by ARA’s K. Jonas Galvin for ACO’s job shadow students.
- 2021 “Perspectives on Cultural Heritage Landscapes”. Cultural Heritage, Archaeology and Planning Symposium. ARA Ltd.
- 2019 University of Toronto, Mark Laird “Selected topics on Landscape Architecture”, Course audit.
Messors, “Fornello Sustainable Preservation Workshop”, Cultural Landscape Field School.
- 2018 Points of Departure. Association for Preservation Technology (APT) Conference. Buffalo, NY.

Presentations

- 2018 Essential issues or themes for education in heritage conservation: Montreal Roundtable on Heritage (Canada Research Chair on Built Heritage).

Sumra Zia, G.D.A.C., B.Arch
Cultural Heritage Technician
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Biography

Sumra Zia, joined the Heritage team at ARA as a Cultural Heritage Technician, and works on heritage impact, assessment, and evaluations. Before joining the heritage team at ARA, Sumra completed a Graduate Diploma in Architectural Conservation from Carleton University in Ottawa. The diploma added to her bachelor's degree in Architecture and Planning from NED University in Pakistan. She has work experience in architecture design, interior design, urban planning, adaptive reuse projects together with working on historic buildings as a conservation specialist. Sumra is well versed with the Ontario Heritage Act, the Ontario Building Code, Ontario Heritage Toolkit and the Standards and Guidelines for the Conservation of Historic Places. Sumra has worked with local communities on tangible and intangible issues connected to architectural practices and as a part of her Architectural Conservation degree has completed various case studies on heritage properties in Canada, which range from the Royal Botanical Gardens in Burlington to the Elgin Hotel in Ottawa. She is passionate about studying the effects of global climate change on cultural heritage properties and landscapes and how working with climate change could be beneficial for best conservation practices.

Education

2022 Graduate Diploma in Architectural Conservation, Carleton University, Ottawa, ON
2018 B. Arch in Architecture and Planning, NED University of Engineering and Technology, Karachi, Pakistan.

Professional Memberships and Accreditations

Current PCATP, Pakistan Council for Architects and Town Planners
Current IAP, Institute of Architects Pakistan

Work Experience

Current **Cultural Heritage Technician, Archaeological Research Associates Ltd.**
Works under the Project Managers on, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, Cultural Heritage Resource Evaluations, and other cultural heritage services.

2020–2021 **Project Architect, Doodling Studio**
Coordinated the completion of various architectural projects leading a team of draftsmen, 3D visualizers and architects. Coordinated with clients for interior design and selection of materials and textures. Conducted site surveys in coordination with contractors to follow project schedules and workflow.

2019–2020 **Architect, Zeeshan Umair Architects**
Prepared excel spreadsheets for bill of quantities for clients and contractors. Coordinated with vendors and distributors for latest and most viable construction technology and materials. Punctually dispatched design proposals consisting of drawings and complete set of details for project execution.

2018–2019 **Junior Architect, DAZ Design Studio**
Worked alongside the principal architect and interior designer on an urban design and restoration project. Coordinated directly with construction workers to ensure

- 2015 adequate and correct implementation of design on site. Prepared working drawings for design execution in line with project deliverables.
Architecture Intern, Habib Fida Ali Architects
Presented design options for a welfare organization office together with a team of senior architects. Explored manual sketching and watercolor mediums for the presentation of ideas, mood boards and final proposals. Delivered hand-made presentations to the board members of the welfare organization for interior space options.

Selected Projects

Heritage Impact Assessment and Commemoration Plan

Current **Smith-Carriquer Farm**, City of Oakville. Client: Schelegel Villages

Cultural Heritage Evaluations Report

Current **George Harvey Collegiate Institute**, City of Toronto. Client: Toronto Lands Corporation (TLC)

Heritage Impact Assessment

Current **45 Canby Street**, City of Thorold. Client: RO Beam Construction

Heritage Impact Assessment

Current **587 Highbury Ave**, City of London. Client: Michael Clark Construction

Municipal Designation Reports and Municipal Heritage Registers

Current **Brampton Municipal Heritage Register Updates**, City of Brampton. Client: City of Brampton

Cultural Heritage Evaluations Reports (Provincial Properties)

2022 **Crysler Heritage Park/Upper Canada Village CHE**, Town of Morrisburg. Client: St. Lawrence Parks Commission.

Condition Assessment

2022 **Christ Church**, City of Hamilton. Client: Canon Terry Charters.

Adaptive Reuse and Rehabilitation Design

2018 **Zaib un Nisa Street**, City of Karachi. Client: Municipality of Saddar Town.

Residential Interior Renovation

2021 **Honda Residence**, City of Karachi. Client: Sheikh Shiraz Mubashir and Shiekh Moiz Mubashir.

Professional Development

- 2022 AODA Customer Service Standards Training
WHMIS ACO Arch styles presentation
- 2022 ICOMOS University Forum, Just Transitions: Heritage Education for Climate Adaptation, hosted by academic members of the Climate Heritage Network
- 2022 Hobin Prize in Architecture & City Building awards ceremony